

**ATLANTIC HIGHLANDS PLANNING BOARD
APPLICATION FOR VARIANCE**

1. I/we Kate Murray, the applicant(s) herein, whose mailing address is 1 Observatory Place, Atlantic Highlands, NJ 07716 and whose phone number is 732-939-3838 I am/are the owner/contractor of property located at 1 Observatory Place, Atlantic Highlands, NJ 07716 also designated as Block 27, Lot(s) 5 on the Tax Map of the Borough of Atlantic Highlands.
2. The Property is in the R-2 Zone, it has street frontage of 78 feet and an average depth of 185 feet and an area of 16,033 square feet.
3. The proposed percentage of lot coverage by both the existing structure and proposed additions will be 29%.
4. The following structures, buildings and/or uses are located on the property:
One story single family dwelling.
5. Application is hereby made for a variance to:
Add a second level over existing first floor as well as a two story addition increasing the total s.f. to 4,253;
add covered porch on side
6. The reason for this request and the grounds urged for the relief are as follows:
1. Minimum lot coverage: pre-existing non conformity
2. Minimum rear set back: pre-existing non conformity intensified 1st floor variance required.
3. Minimum side set back: pre-existing non conformity intensified two story addition variance required
4. Maximum building coverage: pre-existing non conformity intensified variance required
7. The section(s) of the Borough Zoning Ordinance upon which this application is based is: Section 5-2 as per Zoning Officers denial letter. (attached)
8. Property Tax & Water Bills have been paid through the 3rd quarter of 2023.
9. Has the property been separated from a larger tract of land? Yes No If yes, when?
Has the Planning Board approved the subdivision Yes No N/A If yes, when?
10. If there has been any previous appeal or application to the Planning Board involving the premises, state:
Date of Filing:
Character of Appeal
Disposition:

I/We the undersigned, certify that of all of the statements contained herein are true and correct to the best of my/our knowledge, information and belief.


Applicant Signature

12/12/2023
Date

Applicant Signature

Date

Location sketch shall include the exact location of the property in question, giving the tax map lot and block numbers, the name of the street, the approximate distance to the nearest cross street and the direction of North. For a variance from the required minimum area or setbacks, the sketch should locate the buildings on the property. Show any other particulars that you would consider important for the Board to render its decision.

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY :

: SS

COUNTY OF :

Kate Murray, being of full age, and being duly sworn according to law on oath deposes and says that the deponent resides at 1 Observatory Place in the Borough of Atlantic Highlands, in the County of Monmouth and the State of New Jersey that I am the owner in fee of all that certain lot, piece of parcel of land situated, lying and being in the municipality aforesaid, and known and designated as Block 27, Lot(s) 5.

Sworn to and subscribed before me this 12th day of December, 2023.


Property Owner Signature

ERIE C. BREWSTER
NOTARY PUBLIC, State of New York
No. 01BR6424671
Qualified in Kings County
Commission Expires 11/08/2025

Notary Seal

AUTHORIZATION

(If anyone other than the above owner is making this application, the following authorization must be executed)

I hereby authorize _____ to make the within application.

Signature

Date

**CAMPAIGN CONTRIBUTION DISCLOSURE STATEMENT PROVIDED PURSUANT TO
SECTION 9-3.2k, OF THE REVISED GENERAL ORDINANCES OF
THE BOROUGH OF ATLANTIC HIGHLANDS**

COUNTY OF MONMOUTH :
: SS
STATE OF NEW JERSEY :

I, Kate Murray, of 1 Observatory Place
whose address is 1 Observatory Place, Atlantic Higlands, NJ 07716

being of full age certify as follows:

1. I have not knowingly made any campaign contribution to or on behalf of any candidate, candidate committee, joint candidate’s committee, political committee, continuing political committee or political party committee of, or pertaining to, the Borough of Atlantic Highlands, within one year prior to filing the variance application and/or during the pendency of the application process for a variance, and that I have not otherwise violated Chapter 9-3 of the General Ordinances of the Borough of Atlantic Highlands hereof.
2. I understand that I have a continuing duty to report immediately to the Borough of Atlantic Highlands any campaign contributions made in violation of Section 9-3 of the General Ordinances of the Borough of Atlantic Highlands.

I certify that the foregoing statements made by me are true. I understand that if any of the statements made by me are willfully false, I am subject to punishment.

Dated: 12/12/23 Signed: 

I certify that on this 12 day of December, 2023, the subscriber,
Kate Murray, personally appeared who I am satisfied is the person
named herein and who executed the within instrument and thereupon she/he
acknowledges that she/he signed, sealed and delivered as her/his act and deed, for the
uses and purposes expressed.

ERIE C. BREWSTER
NOTARY PUBLIC, State of New Jersey
No. 01BR6424871
Qualified in Kings County
Commission Expires 11/08/2023

Notary Seal
My Commission expires on 11/08/25

All developers, associates of developers and development professionals who apply for or provide testimony, plans or reports in support of a variance as listed below, and who have an enforceable proprietary interest in the property or development which is the subject of an application or whose fee in whole or in part, is contingent upon the outcome of the application, are required to provide this Contribution Disclosure Statement which shall be included as an element of the "Applicant Checklist" submitted with an application for variance pursuant to NJS 40:55D-70(d) as well as for relief pursuant to NJS 40:55-D-70(c) or NJS 40:55D-51 in applications for site plan and subdivision approval not considered to be minor site plans or minor subdivisions pursuant to the Ordinances of the Borough of Atlantic Highlands. This requirement is pursuant to Section 9-3.2k, of the Revised General Ordinances of the Borough of Atlantic Highlands.



**BOROUGH OF
ATLANTIC HIGHLANDS**

100 First Avenue
Atlantic Highlands, New Jersey 07716
732-291-1444 Fax 732-291-9725
www.ahnj.com utilitycollector@ahnj.com

**VERIFICATION THAT PROPERTY TAXES AND
WATER AND SEWER BILLS HAVE BEEN PAID**
(MUST ACCOMPANY ALL PLANNING BOARD APPLICATIONS)

BLOCK: 27 LOT: 5 QUAL: _____

NAME: Kate Murray

ADDRESS: 1 Observatory Place, Atlantic Highlands, NJ 07716

PROPERTY TAXES ON THE ABOVE PROPERT ARE PAID TO DATE.

Catherine Pooler
CATHERINE POOLER, TAX COLLECTOR
DATE

1/8/24

WATER AND SEWER CHARGES ON THE ABOVE PROPERTY ARE PAID TO DATE.

Catherine Pooler
CATHERINE POOLER, UTILITY COLLECTOR
DATE

1/8/2024

BOROUGH OF ATLANTIC HIGHLANDS
DEVELOPMENT PLAN CHECKLIST

DATE: 12/22/2023

PROJECT NAME: 1 Observatory Place

OWNER: Kate Murray

ENGINEER/DESIGNER: Anthony Condouris

PERSON COMPLETING THIS FORM: Kate Murray

RELATIONSHIP TO OWNER: self

LOCATION OF SITE: BLOCK 27 LOT 5

STREET ADDRESS 1 Observatory Place Atlantic Highlands, NJ 07716

THIS FORM MUST BE COMPLETED AND RETURNED TO THE BOARD SECRETARY WITH THE SITE PLAN, SUBDIVISION OR VARIANCE APPLICATION WHEN FILED. ALL OF THE FOLLOWING ITEMS MUST BE SHOWN ON THE SUBMITTED PLANS OR ATTACHED THERETO OR FILED FOR THE APPLICATION TO BE CONSIDERED FOR COMPLETENESS REVIEW.

If a waiver is requested from any of the following items, the items should be checked where provided and an explanation of the reasons for the waiver explained under Section U

A. FILING DATA

MINOR, PRELIMINARY & FINAL PLAN APPLICATION

<u>TO BE CHECKED BY APPLICANT</u>	**This section is Not Applicable	<u>DO NOT USE OFFICE USE ONLY</u>		
WAIVER		WAIVER	YES	NO
<u> </u>	1. 18 Paper copies of plans and specifications	<u> </u>	<u> </u>	<u> </u>
<u> </u>	2. 18 Copies of completed application	<u> </u>	<u> </u>	<u> </u>
<u> </u>	3. Zoning Officer's written review	<u> </u>	<u> </u>	<u> </u>

TO BE CHECKED
BY APPLICANT

DO NOT USE
OFFICE USE ONLY

<u>WAIVER</u>			<u>DO NOT USE</u>		
<u>BY APPLICANT</u>			<u>OFFICE USE ONLY</u>		
<u>WAIVER</u>			<u>WAIVER</u>	<u>YES</u>	<u>NO</u>
_____	_____	4. Soil removal permit signed by Borough Engineer	_____	_____	_____
	_____	5. Certification by Tax Collector that all taxes and water/sewer bills are paid – including current taxes and assessments for local improvements	_____	_____	_____
	_____	6. Applicable filing fees	_____	_____	_____
	_____	7. Three copies of performance guarantee Approved by the Borough Attorney and Borough Engineer, and cash portion of performance guarantee	_____	_____	_____
_____	_____	8. Staging Plan, if applicable	_____	_____	_____
	_____	9. Letters from each utility stating that they will provide service to the proposed facility	_____	_____	_____
	_____	10. Any resubmission must conform to items 1 & 2 inclusive, and item 8	_____	_____	_____
	_____	11. Current letter from Borough Engineer certifying that he has assigned block and lot numbers	_____	_____	_____
	_____	12. Deeds of easement, right of way, drainage, sewer, sight, open space, etc., approved by Borough Attorney and Borough Engineer	_____	_____	_____
_____	_____	13. Disclosure of 10% ownership interest of corporation or partnership which is 10% owner of applying corporation or partnership	_____	_____	_____
_____	_____	14. Prior to final submission, a list of proposed Street names must be submitted to the Board Secretary	_____	_____	_____
_____	_____	15. Corporate Resolution authorizing officers to act, if applicant is corporation	_____	_____	_____

TO BE CHECKED
BY APPLICANT

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WAIVER

WAIVER YES NO

- | | | | | |
|-------|---|-------|-------|-------|
| _____ | 16. Fees and application for Monmouth County Planning Board, if applicable | _____ | _____ | _____ |
| _____ | 17. All plats must have the correct and only the correct signature blocks. Applicant and owner shall sign appropriate signature blocks in black ink | _____ | _____ | _____ |
| _____ | 18. For all applications having a public hearing, an Affidavit of notice must be filed prior to placing on the agenda for the public hearing together with a copy of the certified mail receipts obtained when the notices were mailed, the certified mail return receipts, and an affidavit of publication from an official newspaper of the borough. Notices must be as provided by law | _____ | _____ | _____ |

VARIANCE APPLICATIONS (See Addendum on last page)

- | | | | | |
|-----|---|-------|-------|-------|
| X | 1. 18 copies of request for variance, outlining the proposed variance from zoning requirement | _____ | _____ | _____ |
| X | 2. 18 copies of drawings unless variance is part of site plan or subdivision application, in which case site plan or subdivision plans suffice | _____ | _____ | _____ |
| TBD | 3. Certified list of property owners, certified mail return receipts of notices, affidavit of publication in official newspaper filed prior to placing on the agenda for the public hearing | _____ | _____ | _____ |

TO BE CHECKED
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WAIVER YES NO

B. ADMINISTRATIVE DATA

_____	X	1. Title of project set forth on application	_____	_____	_____
_____	X	2. Names, address of owner and name, address and phone number of applicant and relationship to owner	_____	_____	_____
_____	X	3. Owner's signed certificate of concurrence with Plan: "I hereby certify that I am the owner of record of the plan herein depicted and that I concur with the plan"	_____	_____	_____
_____	X	4. Name and license number of site planner or professional engineer with documents sealed with raised seal	_____	_____	_____
_____	X	5. Date and revision dates of drawings	_____	_____	_____
_____	X	6. Scale and graphic scale, not smaller than 1"=50' and not larger than 1"=10' except where authorized by Borough Engineer	_____	_____	_____
_____	X	7. North arrow	_____	_____	_____
_____	X	8. Key map, not smaller than 1" = 2,000' showing location in the Borough	_____	_____	_____
_____	X	9. <u>Schedule</u>	_____	_____	_____
_____	X	a. Total area of site in acres and square feet	_____	_____	_____
_____	X	b. Total building area in square feet and % lot coverage	_____	_____	_____
X	_____	c. Total landscape area in square feet and % lot coverage	_____	_____	_____
_____	X	d. Total area of driveways, access roads, walkways, in square feet and % of lot	_____	_____	_____

**TO BE CHECKED
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WAIVER			WAIVER	YES	NO
<u> X </u>	<u> </u>	coverage	<u> </u>	<u> </u>	<u> </u>
<u> X </u>	<u> </u>	e. Total parking area (including drive aisles) in square feet and % of lot coverage	<u> </u>	<u> </u>	<u> </u>
<u> X </u>	<u> </u>	f. Number of parking stalls, and stall dimensions	<u> </u>	<u> </u>	<u> </u>
<u> X </u>	<u> </u>	g. Number of employees, total and maximum in one shift	<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> X </u>	h. Ratio of parking to building size of occupancy or both depending on use	<u> </u>	<u> </u>	<u> </u>
<u> X </u>	<u> </u>	i. Total impervious coverage	<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	10. Existing and proposed streets, with dimensions and typical section	<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> X </u>	11. All property line dimensions, directions, calculated areas, setback lines and lot numbers	<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> X </u>	12. Existing zoning and zone boundaries and contiguous land zoning within 200'	<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> X </u>	13. Names of all adjacent property owners within 200' radius with lot and block numbers	<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> X </u>	14. Tax map sheet, block and lot numbers	<u> </u>	<u> </u>	<u> </u>

C. SURVEY

<u> </u>	<u> X </u>	1. Prepared by a New Jersey Licensed surveyor survey not more than five (5) years old, showing existing and proposed monuments	<u> </u>	<u> </u>	<u> </u>
<u> X </u>	<u> </u>	2. Location of existing rock outcrops, high points, water courses, depressions, ponds, marshes, trees with a diameter of four (4) inches or more as measured three (3) feet above the base of the trunk, and other significant existing features including previous flood elevations or water-	<u> </u>	<u> </u>	<u> </u>

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WAIVER YES NO

courses, ponds and marsh areas, as determined by survey

_____	X	3. All existing and proposed lot lines. All setback lines with dimensions. Existing and proposed lot and block numbers as assigned by the Borough Engineer	_____	_____	_____
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D. TOPOGRAPHY:

_____	X	1. Present and proposed grades based on NJ Geodetic Control Survey Datum, as required by ordinance.	_____	_____	_____
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X	_____	2. Bench mark indicated on plan	_____	_____	_____
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X	_____	3. Significant existing features: ponds, views, wooded areas, floodplains, etc	_____	_____	_____
---	-------	--	-------	-------	-------

X	_____	4. First floor elevations of all proposed buildings	_____	_____	_____
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X	_____	5. Existing contours with intervals of one (1) foot where slopes are three percent (3%) or less, two (2) feet where slopes are more than three percent (3%) but less than fifteen percent (15%) and five (5) feet when fifteen percent (15%) or more, referred to a datum as provided by the Borough Engineer to be indicated by a dashed line. Where any changes in contours are proposed, finished grades should be shown as solid lines	_____	_____	_____
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X	_____	6. Limits of cut and fill areas	_____	_____	_____
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E. BUILDINGS AND STRUCTURES

X	_____	1. Location of all existing and proposed structures and buildings and any other physical	_____	_____	_____
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		elements on and within 200' of site to remain or be removed		
<u> X </u>	<u> </u>	2.	Provision for refuse and garbage with details	<u> </u> <u> </u> <u> </u>
<u> X </u>	<u> </u>	3.	Proposed use of all buildings and sections thereof	<u> </u> <u> </u> <u> </u>
<u> X </u>	<u> </u>	4.	Location and description of all existing and Proposed signs	<u> </u> <u> </u> <u> </u>
<u> X </u>	<u> </u>	5.	Loading areas, dimensioned	<u> </u> <u> </u> <u> </u>
<u> X </u>	<u> </u>	6.	Elevations of the buildings and structures to ensure an architectural harmonious relationship to the community and community standards, and to ensure appropriateness of exterior material and trim	<u> </u> <u> </u> <u> </u>
<u> X </u>	<u> </u>	7.	Soil Boring information and recommendation	<u> </u> <u> </u> <u> </u>
<u> X </u>	<u> </u>	8.	Historic structures	<u> </u> <u> </u> <u> </u>
<u> X </u>	<u> </u>	9.	For buildings of more than two (2) stories in height, a floor plan of each story, indicating all fire exits and accessways, as well as the proposed use of said stories	<u> </u> <u> </u> <u> </u>
<u> X </u>	<u> </u>	10.	For garden apartments, a "typical" floor layout of each apartment type in the proposed buildings	<u> </u> <u> </u> <u> </u>
<u> X </u>	<u> </u>	11.	For all apartments and for any building exceeding two (2) stores in height, proposed architectural elevations	<u> </u> <u> </u> <u> </u>
<u> X </u>	<u> </u>	12.	For any building exceeding forty (40) feet in height, a sketch indicating graphically the locations of all existing buildings within two	<u> </u> <u> </u> <u> </u>

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WAIVER YES NO

hundred (200) feet and their height relative to the proposed buildings, as well as their highest elevation above the datum provided in compliance with D.5 above

F. PARKING AREAS, TRAFFIC CONTROL, LIGHTING

<u>X</u>	<u> </u>	1.	Parking areas showing spaces and sizes	<u> </u>	<u> </u>	<u> </u>
<u>X</u>	<u> </u>	2.	Driveways showing sizes, circulation, and traffic control signs. Fire lanes	<u> </u>	<u> </u>	<u> </u>
<u>X</u>	<u> </u>	3.	Existing and proposed streets abutting the site showing rights of way and paved widths	<u> </u>	<u> </u>	<u> </u>
<u>X</u>	<u> </u>	4.	Location and size of fire zones, loading zones	<u> </u>	<u> </u>	<u> </u>
<u>X</u>	<u> </u>	5.	Sidewalks and other pedestrian ways. Handicapped ramps	<u> </u>	<u> </u>	<u> </u>
<u>X</u>	<u> </u>	6.	Surface of parking area, slopes, and barriers	<u> </u>	<u> </u>	<u> </u>
<u>X</u>	<u> </u>	7.	Curbing at ingress and egress and parking lot, showing radii and site triangle	<u> </u>	<u> </u>	<u> </u>
<u>X</u>	<u> </u>	8.	Lighting standards and utility poles indicating size, height, type, construction, light fixtures and locations	<u> </u>	<u> </u>	<u> </u>
<u>X</u>	<u> </u>	9.	Lighting plan indicating specific height, foot candles, and provisions for elimination of sky glow and glare, and angle of light spread	<u> </u>	<u> </u>	<u> </u>
<u>X</u>	<u> </u>	10.	Analysis of parking, including trip generations of proposed development, volumes, numbers of employees and shifts. Expected truck traffic	<u> </u>	<u> </u>	<u> </u>
<u>X</u>	<u> </u>	11.	Handicapped parking	<u> </u>	<u> </u>	<u> </u>

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WAIVER YES NO

X _____ 12. Street light locations _____

G. ROADS, DRIVEWAYS, WALKS, CURBS, WALKWAYS & FENCING:

X _____ 1. Location and dimensions of all items, this category on the site and with 100 feet _____

X _____ 2. Cross sections and profiles of all existing and proposed streets abutting the lots and within 250 feet _____

X _____ 3. Location, type and size of waste disposal system and sanitary sewer lines _____

X _____ 4. Location and type of utilities: electric, cable TV, gas, telephone, water. Underground lines, present and proposed connections or extensions _____

X _____ 5. Show by means of contours and/or spot grades that lot drains adequately into existing waterways and storm drains with pipe sizes, grades and direction of flow _____

X _____ 6. Location of all easements related to drainage, conservation and flood hazard areas _____

X _____ 7. Storm drainage calculations 100 year storm certified by a professional engineer _____

X _____ 8. Signed contract for water and letters of of service from other utilities _____

X _____ 9. Location profiles and cross-sections of all water courses and drainage facilities within 300' of limits of development. Flood hazard Boundaries _____

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<u>X</u>	_____	10.	Provision for storm water detention basins where required, including details of detention basins calculations in proper form for review	_____	_____	_____
<u>X</u>	_____	11.	Stream cross-sections	_____	_____	_____

H. SIGNS:

<u>X</u>	_____	1.	Location, size, color, wording, letter size, illumination, materials of construction	_____	_____	_____
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I. LANDSCAPING:

<u>X</u>	_____	1.	Total square feet of landscaping	_____	_____	_____
<u>X</u>	_____	2.	Landscaping within the parking areas	_____	_____	_____
<u>X</u>	_____	3.	Buffer areas including location of landscape screen and fencing	_____	_____	_____
<u>X</u>	_____	4.	All areas landscaped: planting plan with size, species and spacing of proposed plant material	_____	_____	_____
<u>X</u>	_____	5.	Existing trees over 6" in diameter	_____	_____	_____
<u>X</u>	_____	6.	Proposed location, proposed species, quantity, and spacing of trees to be planted	_____	_____	_____

J. FIRE PREVENTION:

<u>X</u>	_____	1.	Fire protection systems	_____	_____	_____
<u>X</u>	_____	2.	Hydrants, existing and proposed	_____	_____	_____

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X	K.	Copy of any covenants or deed restrictions	_____	_____	_____
X	L.	Soil Erosion and Sediment Control Plan and Soil Conservation District Approval (if project involves the disturbance of more than 5,000 square feet of land area)	_____	_____	_____
X	M.	Location of any construction access roads	_____	_____	_____
X	N.	Applicant for a project located within a Flood Hazard Area to apply for approval in conformance with the "90 Day Construction Permit Act"	_____	_____	_____
X	O.	County Planning Board Review and Approval	_____	_____	_____
X	P.	State Ingress and Egress Approval	_____	_____	_____
X	Q.	State DEPE-CAFRA Approval	_____	_____	_____
X	R.	Army Corps of Engineer Permit Approval	_____	_____	_____
X	S.	Letter from Atlantic Highlands Regional Sewerage Authority indicating receipt of application	_____	_____	_____
X	T.	NJDEPE Freshwater Wetlands Letter of Interpretation or Letter of Exemption. Please indicate type of letter submitted	_____	_____	_____
X	_____	a. Presence or absence determination (Type I)	_____	_____	_____
X	_____	b. Footprint of disturbance presence or absence determination (Type II)	_____	_____	_____
X	_____	c. Delineation of freshwater wetlands, State open waters and transition areas for property under on acre (Type III)	_____	_____	_____
X	_____	d. Regulatory line verification by NJDEPE (Type IV, required if wetlands are present on the site)	_____	_____	_____
X	_____	e. Letter of Exemption related to USACOE Nationwide Permit	_____	_____	_____

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WAIVER YES NO

U. Waiver Required From:

Reason:

Waiver Required From:

Reason:

**ADDENDUM TO DEVELOPMENT PLAN CHECKLIST – SEPTEMBER 1998
RE: VARIANCE APPLICATION IN STEEP SLOPE ZONE**

Any application for a Variance in the Steep Slope Zone, as defined by the Steep Slope Ordinance, is required to have Borough Engineer's review prior to being deemed complete by the Board for action.

If the application is incomplete in any of the above requirements, the documents will be returned to the developer and will not be accepted as a complete application.

BORO OF ATLANTIC HIGHLANDS
Steep slope ordinance review

LOT : 5 BLOCK: 27 AREA: 16033 sf ZONE: R-2

A- Minimum lot size:
30% or more slopes = 0 sf * 0.10 = 0 SF
20% to 30% " = 0 sf * 0.20 = 0 SF
15% to 20% " = 194 sf * 0.50 = 97 SF
less than 15% " = 15839 sf * 1.00 = 15839 SF

Modified minimum lot area = 15936 SF

B- Maximum Permitted lot coverage (Building & Drive):
30% or more slopes = 0 sf * 0.25 = 0 SF
20% to 30% " = 0 sf * 0.50 = 0 SF
15% to 20% " = 194 sf * 0.75 = 145.5 SF
less than 15% " = 15839 sf * 1.00 = 15839 SF

TOTAL: = 15985 SF
sf * 40 % = 6394 SF Permitted Lot Coverage

EXISTING: Building and shed = 2638 SF
Stone Driveway = 983 SF
TOTAL = 3621 SF

C- Maximum Permitted Impervious Area:
30% or more slopes = 0 sf * 0.10 = 0 SF
20% to 30% " = 0 sf * 0.15 = 0 SF
15% to 20% " = 194 sf * 0.25 = 48.5 SF
less than 15% " = 15839 sf * 0.35 = 5543.65 SF

PERMITTED TOTAL: = 5592

PROPOSED: Buildings @ 3841 sf
driveway @ 983 sf
walks/slab @ 390 sf

TOTAL = 5214 sf

D- Maximum lot disturbance: 5592 sf * 130 % = 7270 SF

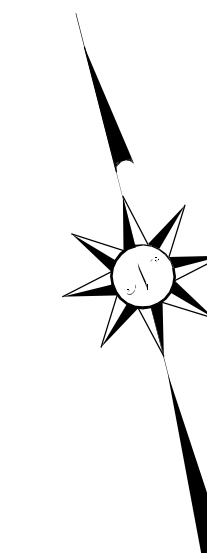
SLOPE CATAGORY	AREA
A SLOPES OVER 30%	0 SF
B SLOPES 20-30 %	0 SF
C SLOPES 15-20 %	194 SF
D SLOPES UNDER 15%	15839 SF

ZONE SCHEDULE

R-2 Residential Zone District	Required Elements	Existing Condition	Proposed Condition	Comments
Lot Area, min.	Sf 15000	16033	16033	
Lot frontage	Ft 100	78.0**	78.0**	pre existing non conformity
Lot shape, DIA	Ft 65	59.5**	59.5**	pre existing non conformity
Front yard	Ft 25	99	98	
Side yard	Ft 15	10.3**	10.3**	pre existing non conformity
Two sides	Ft 30	31.3	31.3	
Rear yard,	Ft 30	11.3**	11.3**	pre existing non conformity
Coverage, Bldg	% 15	16.4**	23.9*	increased non-conformity
Lot Coverage	% 40	25.9	31.7	See steep slope calculations
Parking, min	Spc 3	4	4	4 Bedrooms (RSIS standard)
Bldg Height	FT 35	17.5		See Architectural Plans

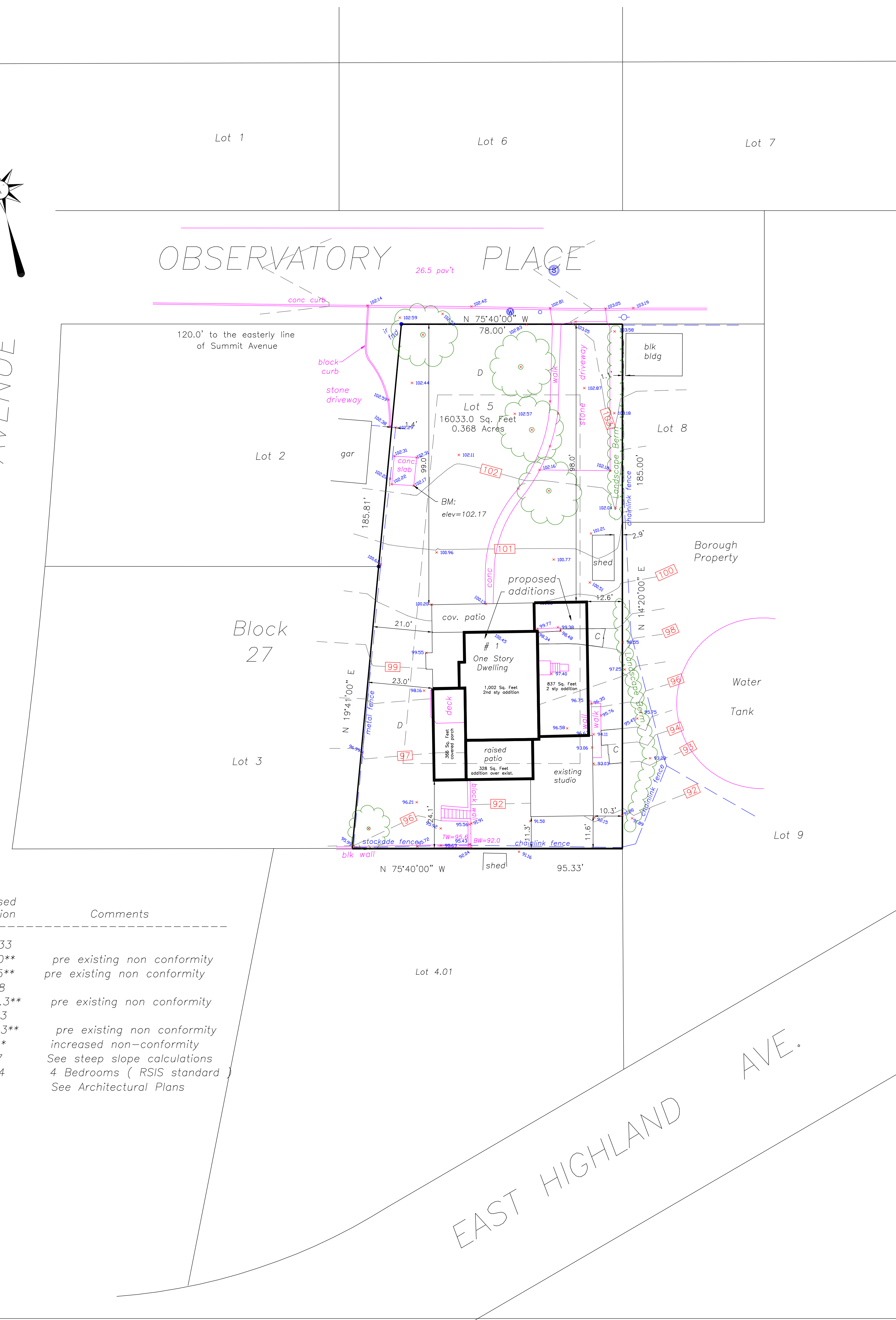
* Variance required.

** Pre-existing nonconformity



SUMMIT AVENUE

OBSERVATORY PLACE



NOTES:

Elevations refer to ASSUMED VERTICAL DATUM. Local Bench mark elevation = 102.17' at the south east corner of the conc slab, where shown.

Contour interval = 1 Foot.

Any Object beneath the surface of the Ground has not been located, and no Guarantee as to existence or location is expressed or implied.

THIS SURVEY HAS BEEN PREPARED WITHOUT A FULL TITLE SEARCH AND IS SUBJECT TO SUCH FACTS THAT MIGHT BE REVEALED BY SAID TITLE SEARCH.

THE BUILDING AREA INCLUDES ALL ROOFED AREAS, INCLUDING THE FRONT PORCH, THE BACK RAISED PATIO AREA, AND THE SHED.

LEGEND:

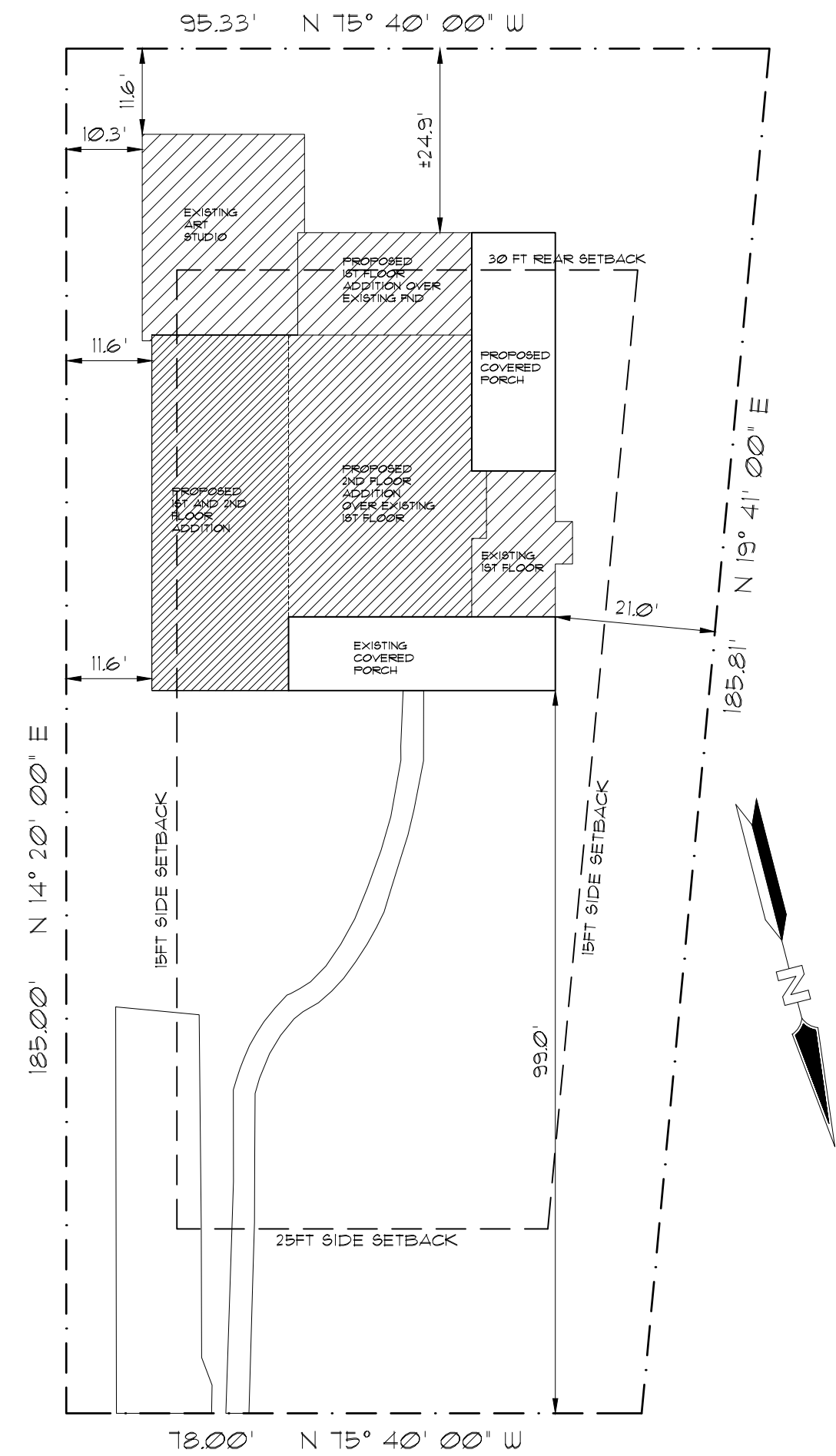
- 9816 x = spot elevations
- = iron pin found
- = existing tree



1	11-17-23	add proposed features for area calculations	RLT
REV:	DATE:	DESCRIPTION:	BY:
STEEP SLOPE REVIEW PLAN FOR KATE MURRAY LOT 5 BLOCK 27 BOROUGH OF ATLANTIC HIGHLANDS, MONMOUTH COUNTY, N.J.			
R AND T LAND SURVEYING SURVEYING & MAPPING-CONSULTING-CONSTRUCTION SURVEYING P.O. BOX 124, ATLANTIC HIGHLANDS, NJ 07716 732-872-2827			
RONALD L TRINIDAD, NJ REGISTERED LAND SURVEYOR, No. 24GS04337000			
DATE: 9-20-23	FILE: 4014	DRAWN: RLT	JOB NO: 7794
SCALE: 1" = 20'	CAD# M-7794ss1.dwg	CHECKED: HS	DWG NO: D-1064a

proposed additions and renovations for CATSAM MURRAY RESIDENCE

1 OBSERVATORY PLACE
ATLANTIC HIGHLANDS, NEW JERSEY
BLOCK 27 ~ LOT 5



OBSERVATORY PLACE

SITE PLAN
SCALE: 1" = 20'-0"

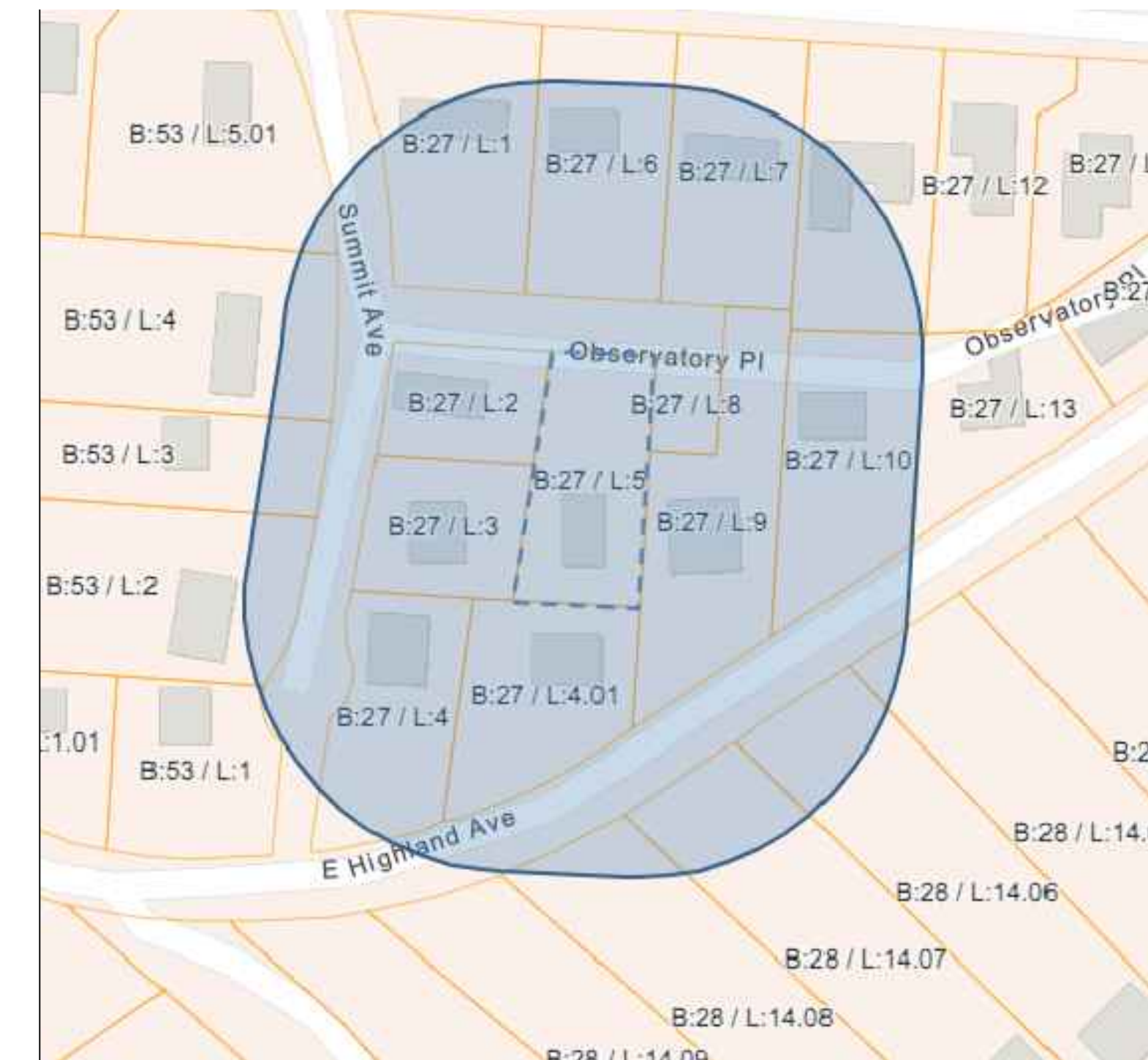
BUILDING DEPARTMENT DATA			
	EXISTING	ADDED	COMBINED
HABITABLE SPACES			
FIRST FLOOR	1,195 SQ. FT.	1,198 SQ. FT.	2,393 SQ. FT.
SECOND FLOOR	0 SQ. FT.	1,860 SQ. FT.	1,860 SQ. FT.
TOTAL	1,195 SQ. FT.	3,058 SQ. FT.	4,253 SQ. FT.
VOLUME	28,000 CU. FT.	51,203 CU. FT.	79,203 CU. FT.
CONSTRUCTION CLASS		5B	
USE GROUP		R-5	

* NOTE: SQUARE FOOTAGE DATA NOT TO BE USED FOR CALCULATING CONSTRUCTION COSTS

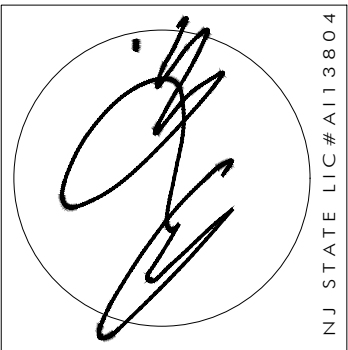
INFORMATION SHOWN ON THIS PLAN IS BASED ON SURVEY DONE BY RICHARD E. STOCKTON, N.J. P.L.S. LIC. NO. 15102, DATED 04/12/2019.

LICENSED SURVEYOR TO VERIFY SETBACKS, PROPERTY LINES AND SET PROPER FIRST FLOOR ELEVATION AND CORNERS OF BUILDING PRIOR TO CONSTRUCTION.

ZONING DATA (R-2)				
ITEM	REQUIRED	EXISTING	PROPOSED	NOTES
MINIMUM LOT AREA	15,000 SQ. FT.	16,033 SQ. FT.	N/C	
MINIMUM LOT FRONTAGE	120 FT.	78 FT.	N/C	PRE-EXISTING NON CONFORMITY
MINIMUM LOT DEPTH				
PRINCIPAL BUILDING				
MINIMUM FRONT SETBACK	25 FT.	99 FT.	N/C	
MINIMUM REAR SETBACK	30 FT.	11.6 FT.	11.6/24.9 FT.	PRE-EXISTING NON CONFORMITY INTENSIFIED 1ST FLOOR - VARIANCE REQUIRED
MINIMUM SIDE SETBACK (ONE/BOTH)	15/20 FT.	10.3/31.3 FT.	10.3/31.3 FT., EX. 11.6/32.6 FT., AD.	PRE-EXISTING NON CONFORMITY INTENSIFIED TWO STORY ADDITION - VARIANCE REQUIRED
MAX. BUILDING HEIGHT (STORIES/FT.)	2.5/35 FT.	1/2.5 FT.	2/32 FT.	
ACCESSORY BUILDING				
MINIMUM REAR SETBACK	5 FT.	N/A	N/C	
MINIMUM SIDE SETBACK	10 FT.	N/A	N/C	
MAX. BUILDING HEIGHT (STORIES/FT.)	1/6 FT.	N/A	N/C	
MAXIMUM BUILDING COVERAGE	15 %	15.62 %	23.12 %	PRE-EXISTING NON CONFORMITY INTENSIFIED VARIANCE REQUIRED
MAXIMUM LOT COVERAGE	40 %	21.5 %	29 %	
MAXIMUM FLOOR AREA RATIO	0.35	0.13	0.30	



200 FT. KEY MAP
SCALE: N.T.S.



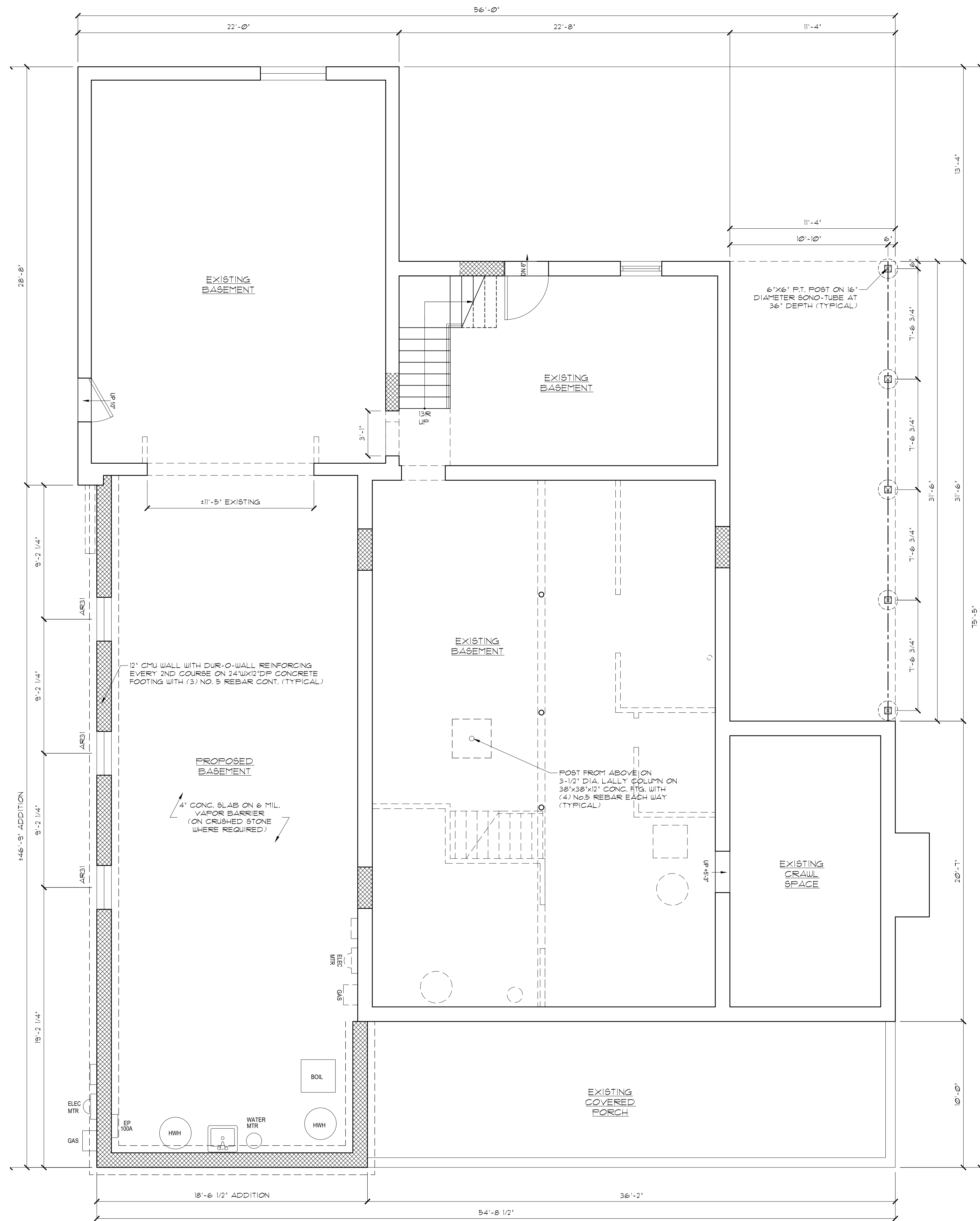
ANTHONY M. CONDOURIS
ARCHITECT
20 BINGHAM AVENUE, SUMMONS ON J 07760
PHONE: 732-842-3800 ~ FAX: 732-842-7777 ~ email: info@amcarlchitect.com ~ WWW.AMCARLCHICT.COM

REVISIONS	DATE

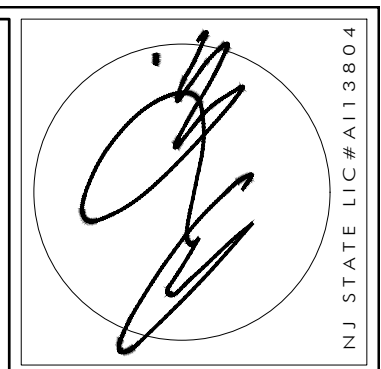
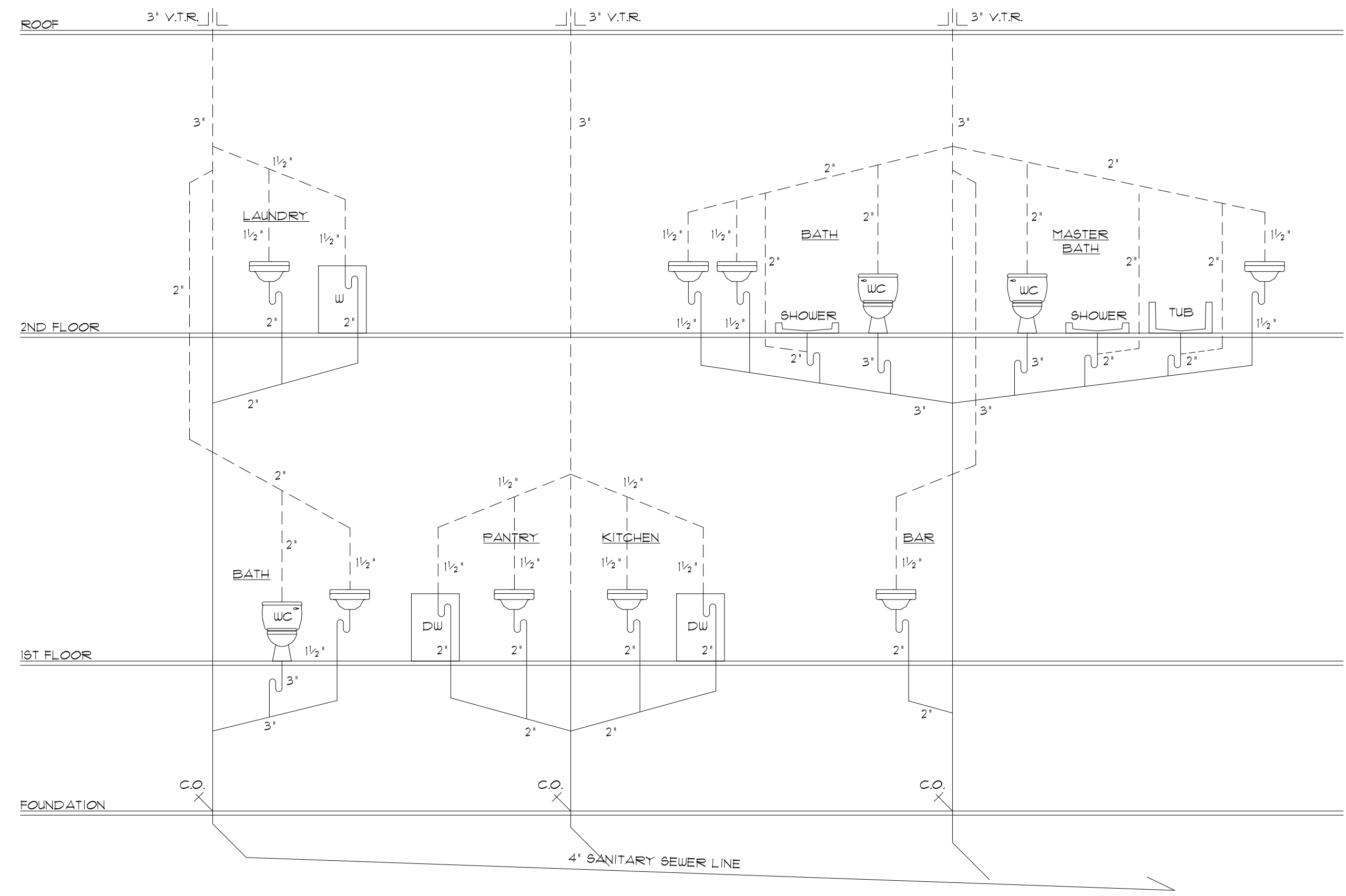
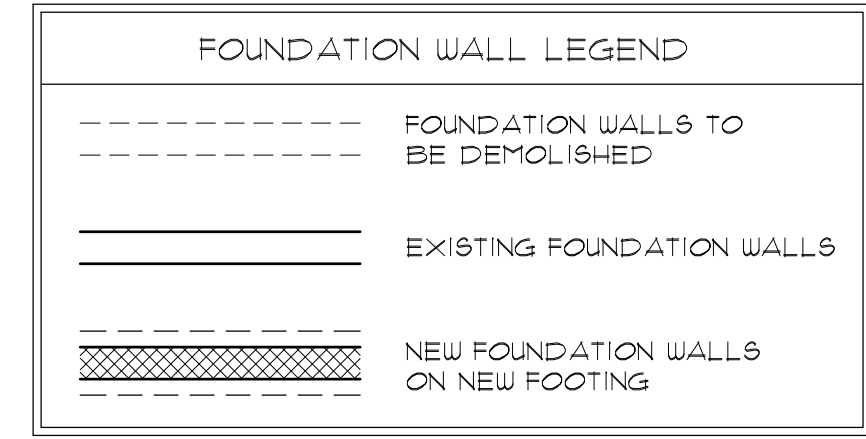
CLIENT: CATSAM- MURRAY RESIDENCE
ADDRESS: 1 OBSERVATORY PLACE ATLANTIC HIGHLANDS, NEW JERSEY
JOB NUMBER: 23-055
BLOCK: 27
LOT: 5

DATE: 11/29/23
DRAWN BY: MB
SHEET NO.: A-1

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



BASEMENT PLAN
SCALE: 1/4" = 1'-0"

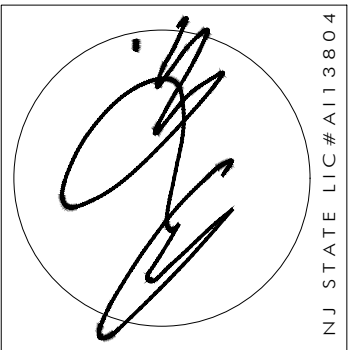


REVISIONS	DATE

CLIENT	CATSAM- MURRAY RESIDENCE
ADDRESS	1 OBSERVATORY PLACE ATLANTIC HIGHLANDS, NEW JERSEY
JOB NUMBER	23-055
BLOCK	21
LOT	5

DATE	11/29/23
DRAWN BY	MB
SHEET NO.	A-3

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



NJ STATE LIC#A13804

A N T H O N Y M. C O N D O U R I S

ARCHITECT

20 BINGHAM AVENUE, RUMSON, NJ 07760
 Telephone ~ 732-842-3800 ~ fax 732-842-7777 ~ www.amcarchitect.com

REVISIONS DATE

CLIENT: CATSAM- MURRAY RESIDENCE

ADDRESS: 1 OBSERVATORY PLACE
 ATLANTIC HIGHLANDS, NEW JERSEY

JOB NUMBER: 23-055 BLOCK: 21 LOT: 5

DATE: 11/29/23

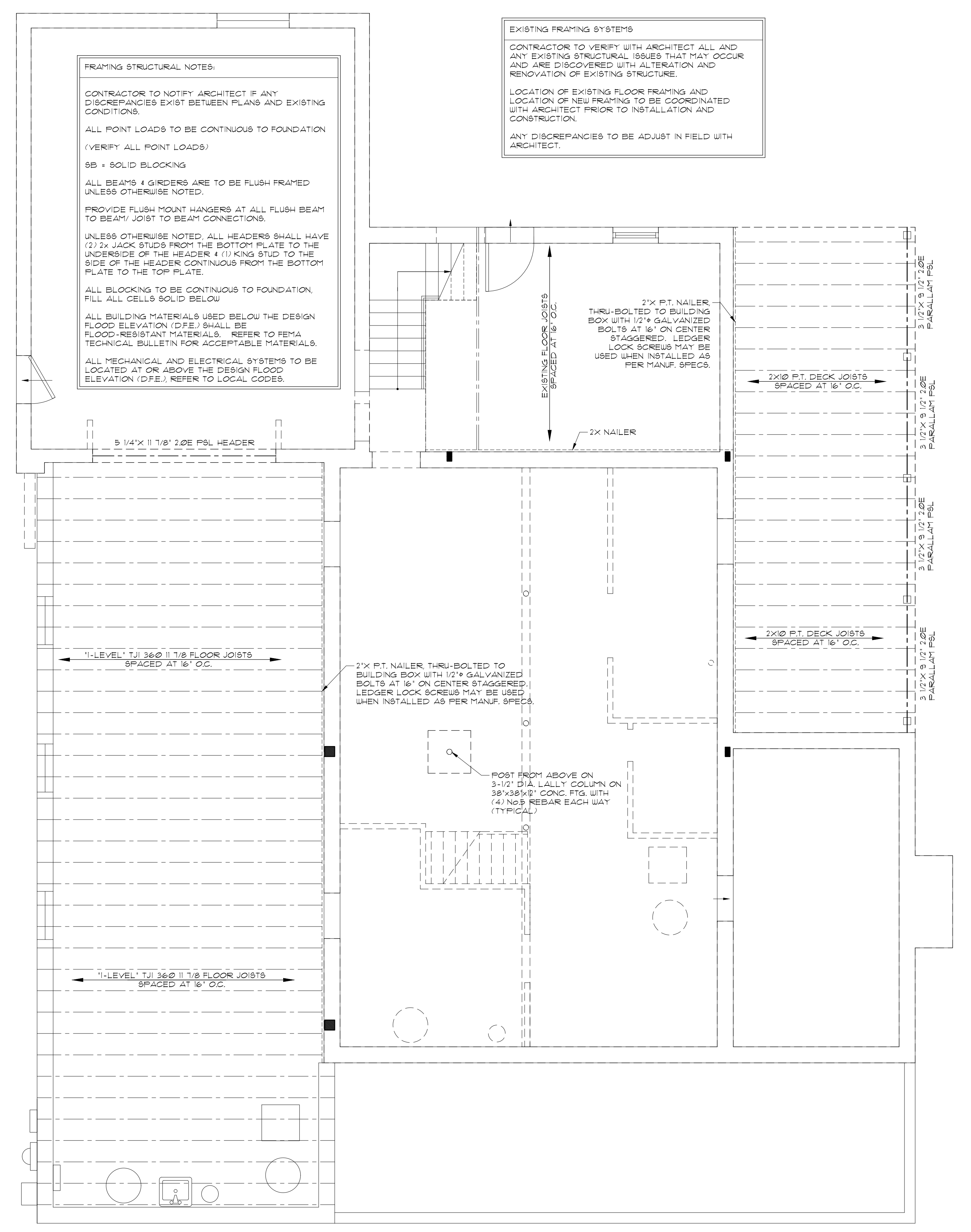
DRAWN BY: MB
 SHEET NO. **A-4**

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.

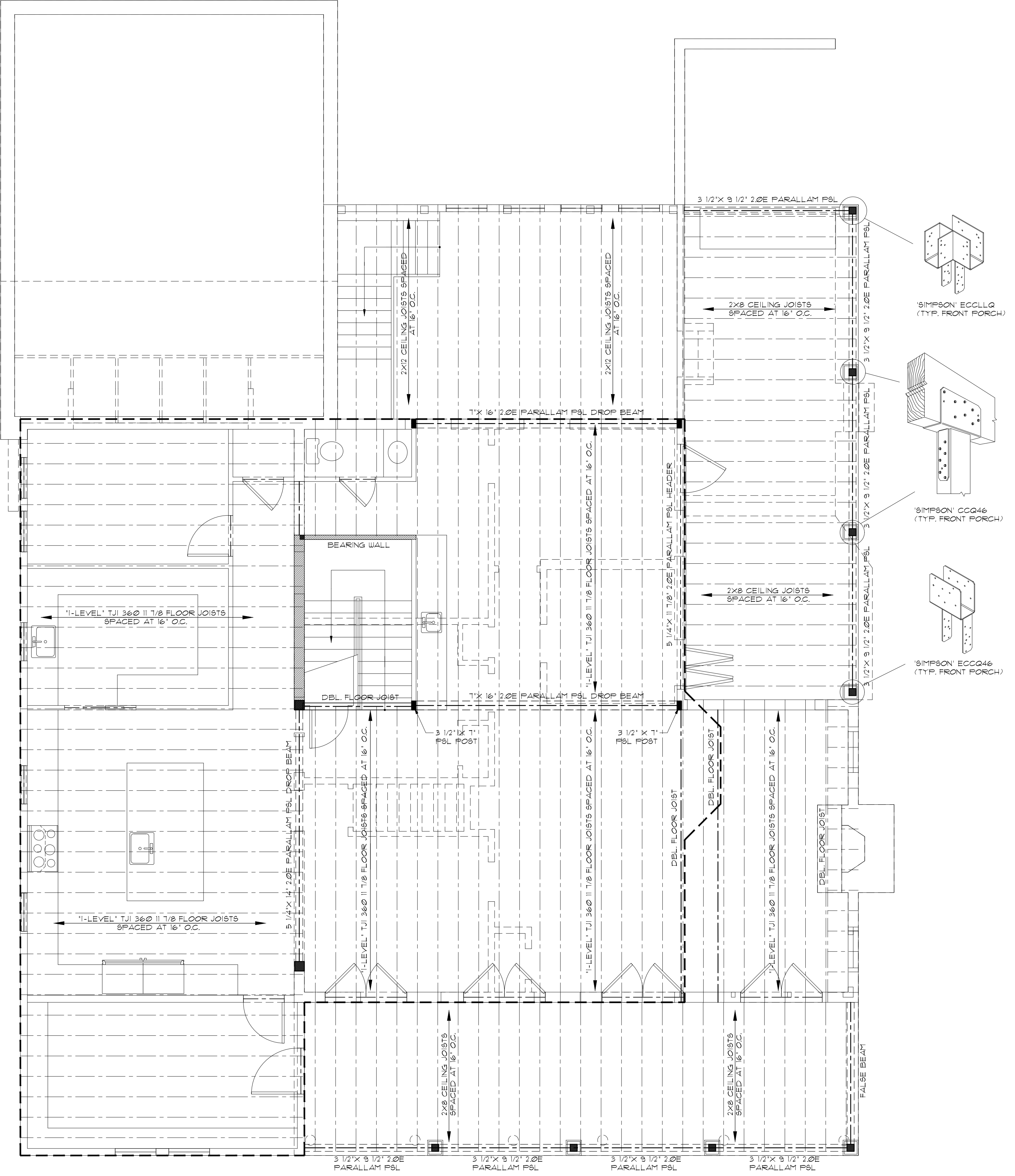
FRAMING STRUCTURAL NOTES:

CONTRACTOR TO NOTIFY ARCHITECT IF ANY DISCREPANCIES EXIST BETWEEN PLANS AND EXISTING CONDITIONS.
 ALL POINT LOADS TO BE CONTINUOUS TO FOUNDATION (VERIFY ALL POINT LOADS)
 SB + SOLID BLOCKING
 ALL BEAMS & GIRDERS ARE TO BE FLUSH FRAMED UNLESS OTHERWISE NOTED.
 PROVIDE FLUSH MOUNT HANGERS AT ALL FLUSH BEAM TO BEAM/ JOIST TO BEAM CONNECTIONS.
 UNLESS OTHERWISE NOTED, ALL HEADERS SHALL HAVE (2) 2x JACK STUDS FROM THE BOTTOM PLATE TO THE UNDERSIDE OF THE HEADER & (1) KING STUD TO THE SIDE OF THE HEADER CONTINUOUS FROM THE BOTTOM PLATE TO THE TOP PLATE.
 ALL BLOCKING TO BE CONTINUOUS TO FOUNDATION, FILL ALL CELLS SOLID BELOW.
 ALL BUILDING MATERIALS USED BELOW THE DESIGN FLOOD ELEVATION (D.F.E.) SHALL BE FLOOD-RESISTANT MATERIALS. REFER TO FEMA TECHNICAL BULLETIN FOR ACCEPTABLE MATERIALS.
 ALL MECHANICAL AND ELECTRICAL SYSTEMS TO BE LOCATED AT OR ABOVE THE DESIGN FLOOD ELEVATION (D.F.E.). REFER TO LOCAL CODES.

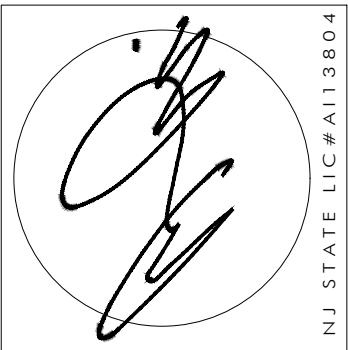
EXISTING FRAMING SYSTEMS
 CONTRACTOR TO VERIFY WITH ARCHITECT ALL AND ANY EXISTING STRUCTURAL ISSUES THAT MAY OCCUR AND ARE DISCOVERED WITH ALTERATION AND RENOVATION OF EXISTING STRUCTURE.
 LOCATION OF EXISTING FLOOR FRAMING AND LOCATION OF NEW FRAMING TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION AND CONSTRUCTION.
 ANY DISCREPANCIES TO BE ADJUST IN FIELD WITH ARCHITECT.



FIRST FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

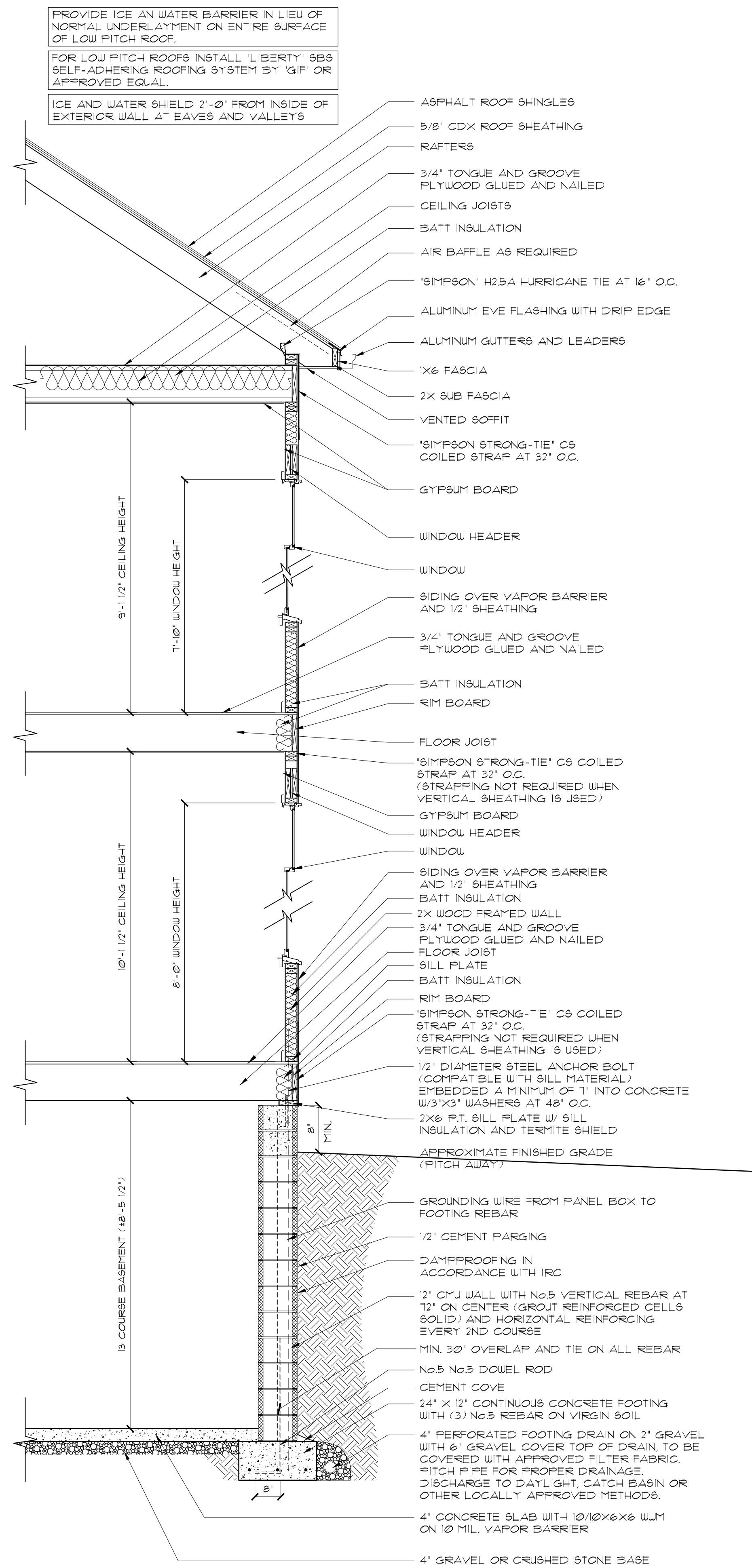


REVISIONS	DATE

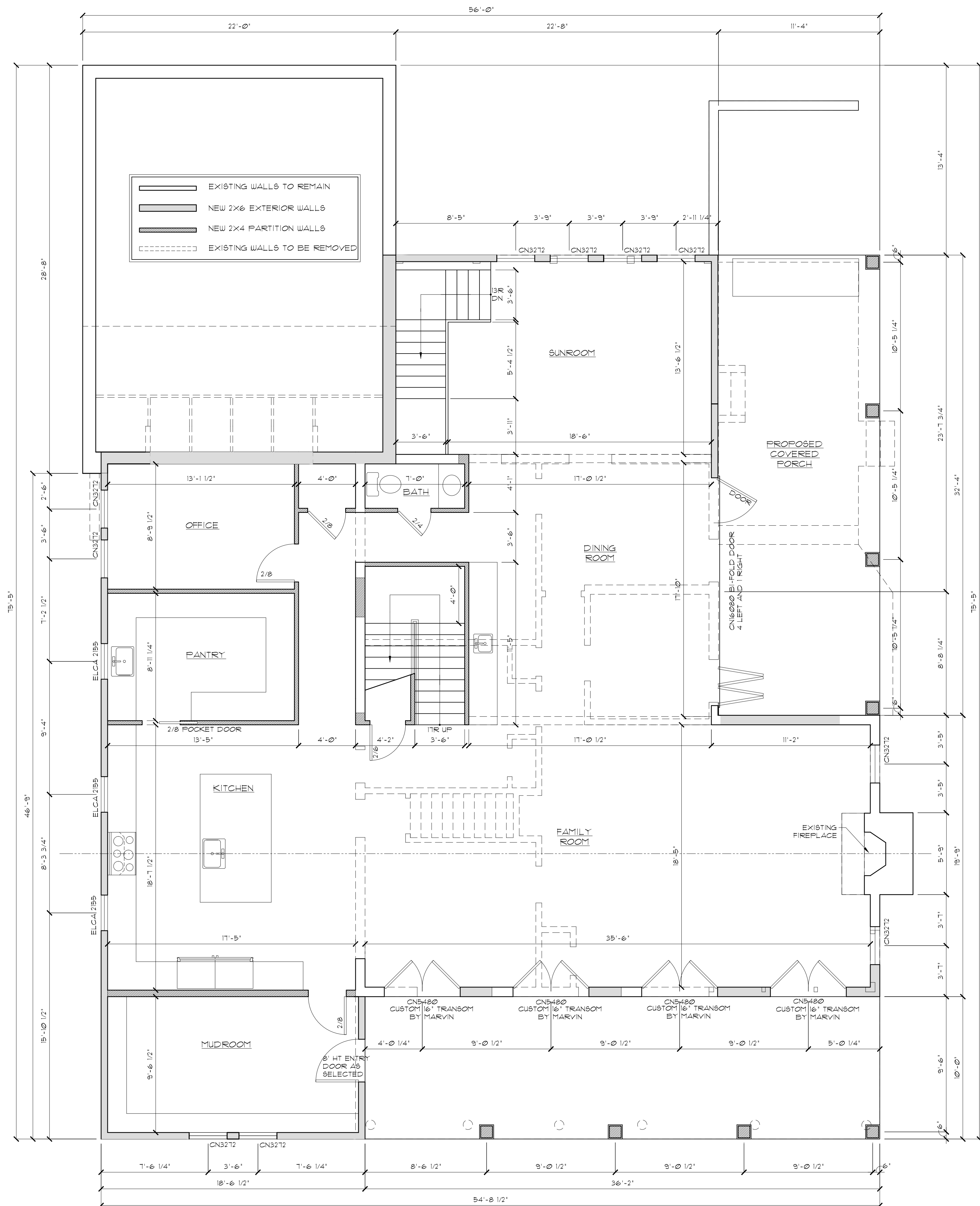
CLIENT	CATSAM- MURRAY RESIDENCE
ADDRESS	1 OBSERVATORY PLACE ATLANTIC HIGHLANDS, NEW JERSEY
JOB NUMBER	23-055
BLOCK	21
LOT	5

DATE	11/29/23
DRAWN BY	MB
SHEET NO.	A-5

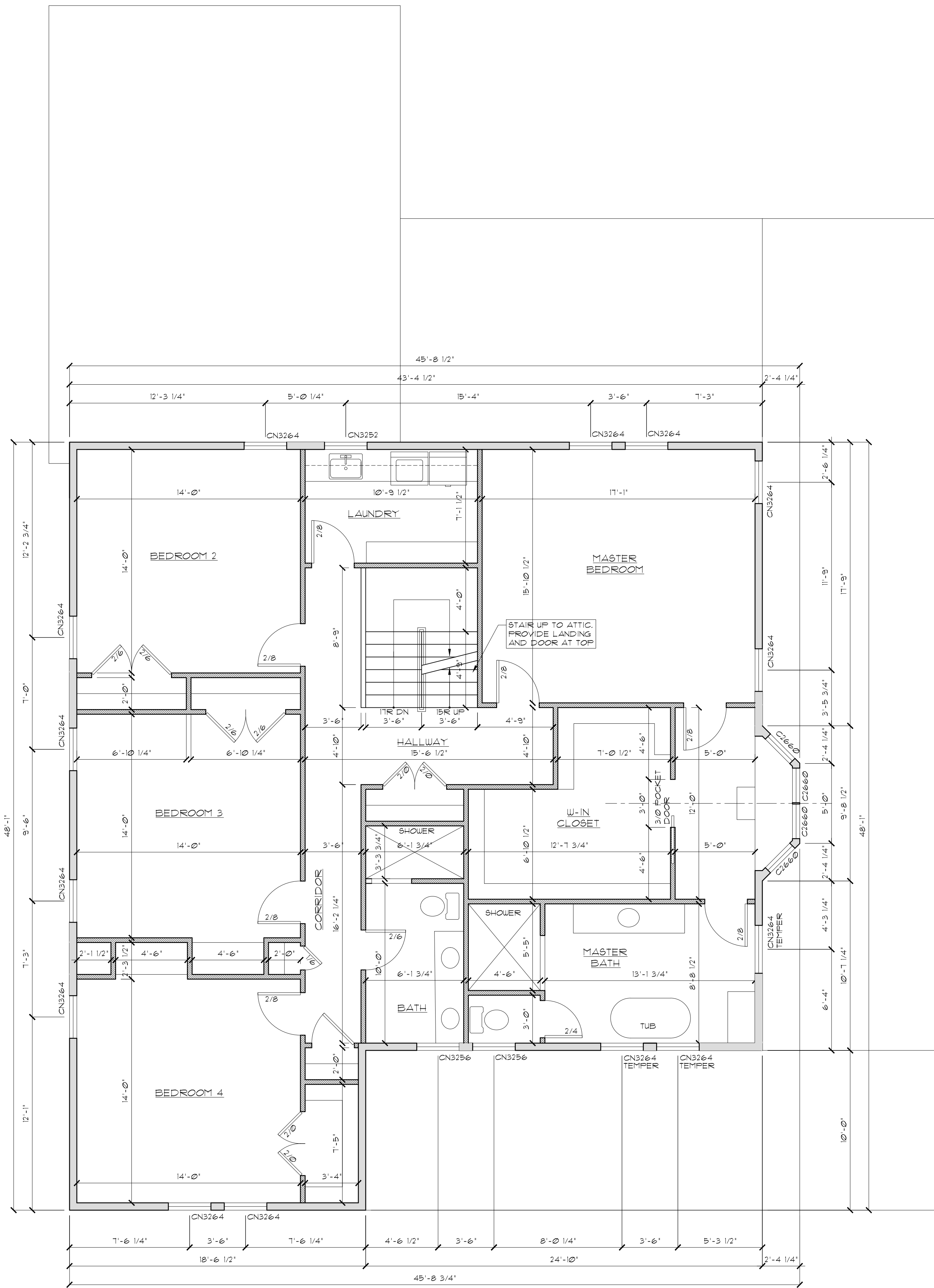
NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



TYPICAL WALL DETAIL
 SCALE: 1/2" = 1'-0"



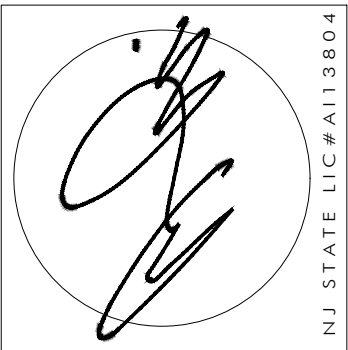
FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- EXISTING WALLS TO REMAIN
- NEW 2X6 EXTERIOR WALLS
- NEW 2X4 PARTITION WALLS
- EXISTING WALLS TO BE REMOVED

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.

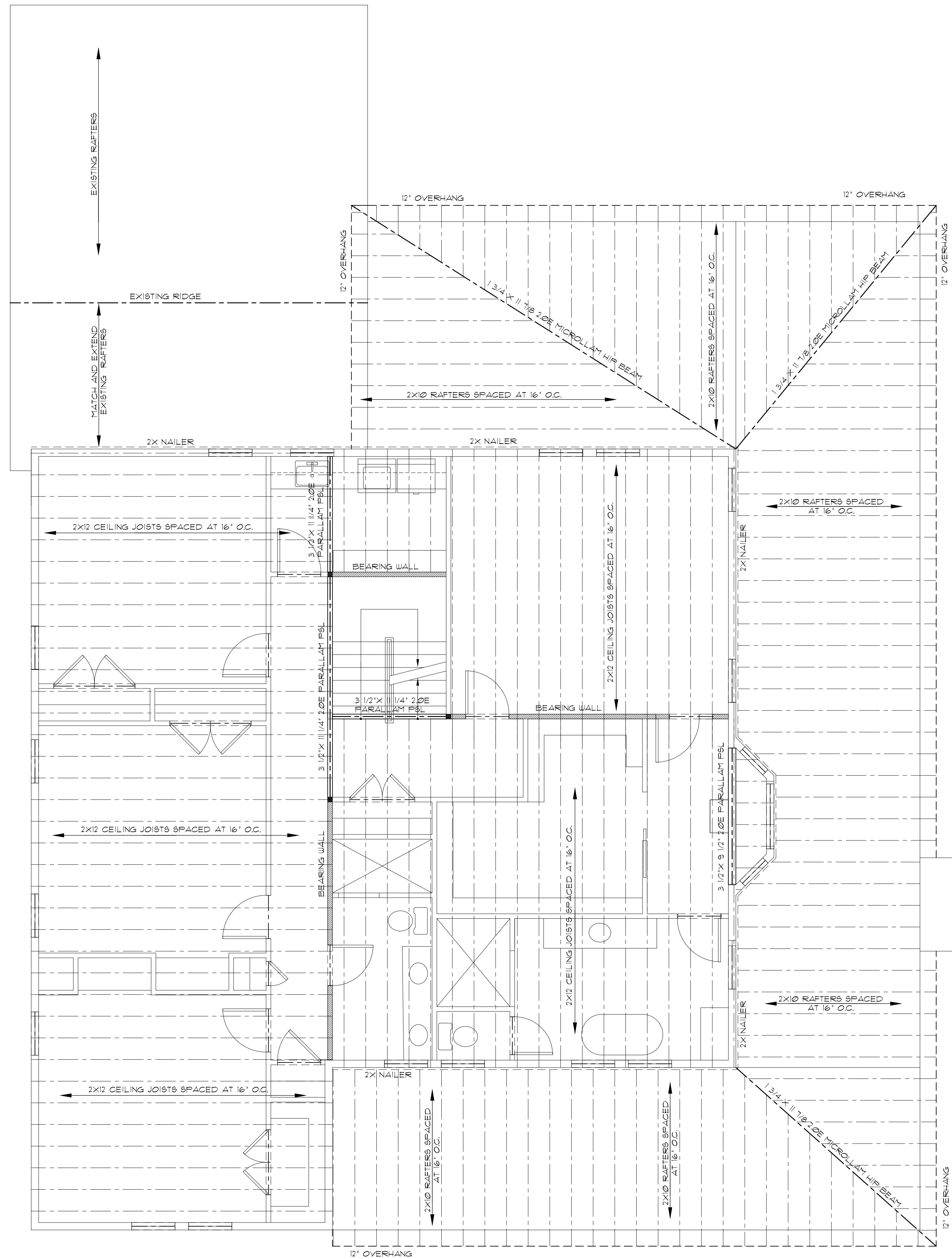


A N T H O N Y M. C O N D O U R I S
A R C H I T E C T
20 B I N G H A M A V E N U E , R U M S O N N J 0 7 7 6 0
Telephone ~ 732-842-3800 ~ fax 732-842-7777 ~ www.amcarchitect.com

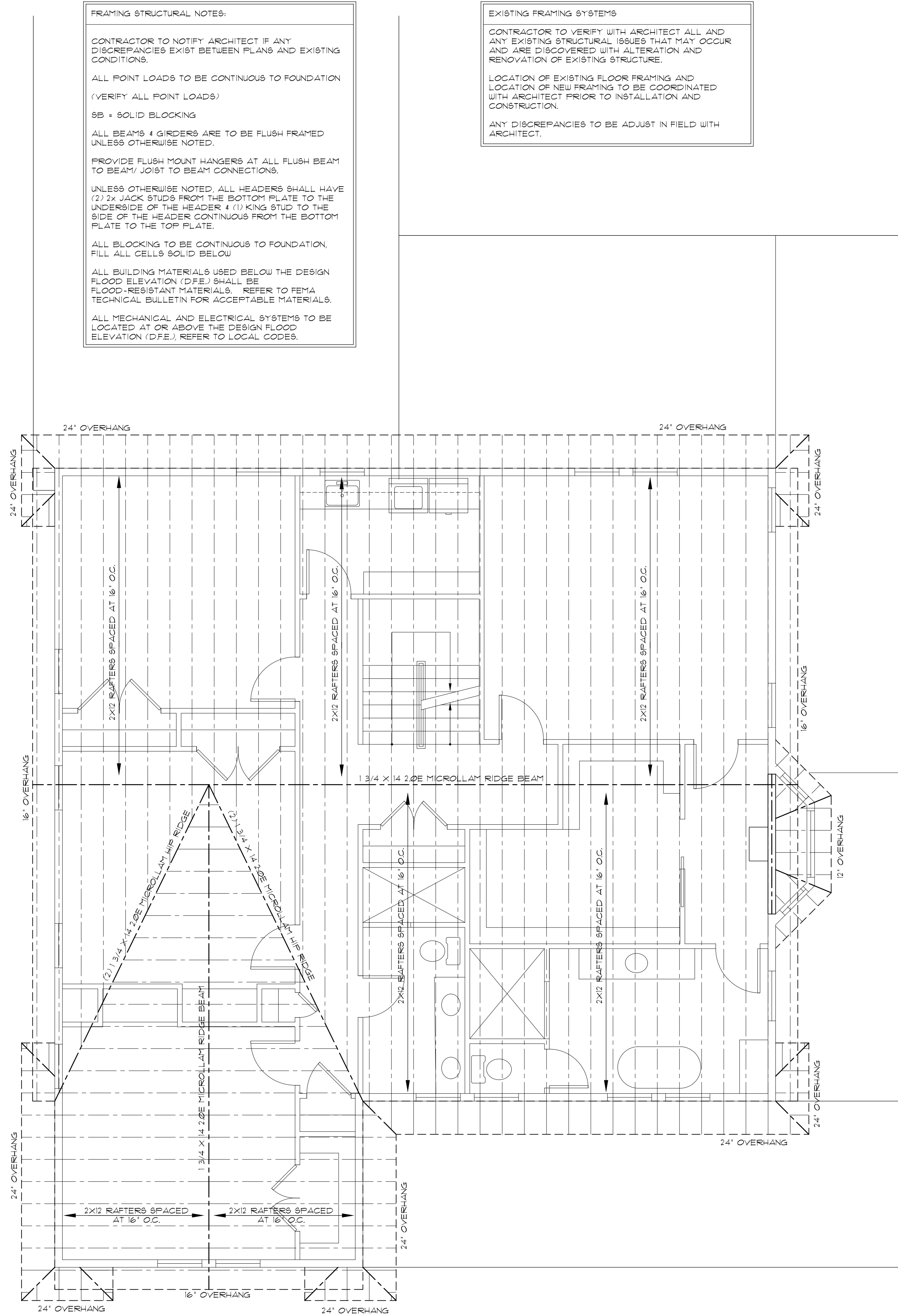
REVISIONS	DATE

CLIENT: CATSAM- MURRAY RESIDENCE
ADDRESS: 1 OBSERVATORY PLACE
ATLANTIC HIGHLANDS, NEW JERSEY
JOB NUMBER: 23-055 BLOCK: 21 LOT: 5

DATE: 11/29/23
DRAWN BY: MB
SHEET NO. **A-6**



CEILING FRAMING PLAN
SCALE: 1/4" = 1'-0"



FRAMING STRUCTURAL NOTES:

CONTRACTOR TO NOTIFY ARCHITECT IF ANY DISCREPANCIES EXIST BETWEEN PLANS AND EXISTING CONDITIONS.

ALL POINT LOADS TO BE CONTINUOUS TO FOUNDATION (VERIFY ALL POINT LOADS).

SB = SOLID BLOCKING

ALL BEAMS & GIRDERS ARE TO BE FLUSH FRAMED UNLESS OTHERWISE NOTED.

PROVIDE FLUSH MOUNT HANGERS AT ALL FLUSH BEAM TO BEAM/ JOIST TO BEAM CONNECTIONS.

UNLESS OTHERWISE NOTED, ALL HEADERS SHALL HAVE (2) 2x JACK STUDS FROM THE BOTTOM PLATE TO THE UNDERSIDE OF THE HEADER & (1) KING STUD TO THE SIDE OF THE HEADER CONTINUOUS FROM THE BOTTOM PLATE TO THE TOP PLATE.

ALL BLOCKING TO BE CONTINUOUS TO FOUNDATION. FILL ALL CELLS SOLID BELOW.

ALL BUILDING MATERIALS USED BELOW THE DESIGN FLOOD ELEVATION (DFE) SHALL BE FLOOD-RESISTANT MATERIALS. REFER TO FEMA TECHNICAL BULLETIN FOR ACCEPTABLE MATERIALS.

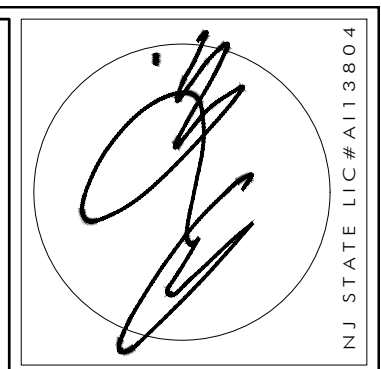
ALL MECHANICAL AND ELECTRICAL SYSTEMS TO BE LOCATED AT OR ABOVE THE DESIGN FLOOD ELEVATION (DFE). REFER TO LOCAL CODES.

EXISTING FRAMING SYSTEMS

CONTRACTOR TO VERIFY WITH ARCHITECT ALL AND ANY EXISTING STRUCTURAL ISSUES THAT MAY OCCUR AND ARE DISCOVERED WITH ALTERATION AND RENOVATION OF EXISTING STRUCTURE.

LOCATION OF EXISTING FLOOR FRAMING AND LOCATION OF NEW FRAMING TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION AND CONSTRUCTION.

ANY DISCREPANCIES TO BE ADJUST IN FIELD WITH ARCHITECT.



A N T H O N Y M. C O N D O U R I S - Z O
A R C H I T E C T
20 BINGHAM AVENUE, RUMSON, NJ 07760
Telephone ~ 732-842-3800 ~ fax 732-842-7777 ~ www.amcatrchitect.com

REVISIONS	DATE

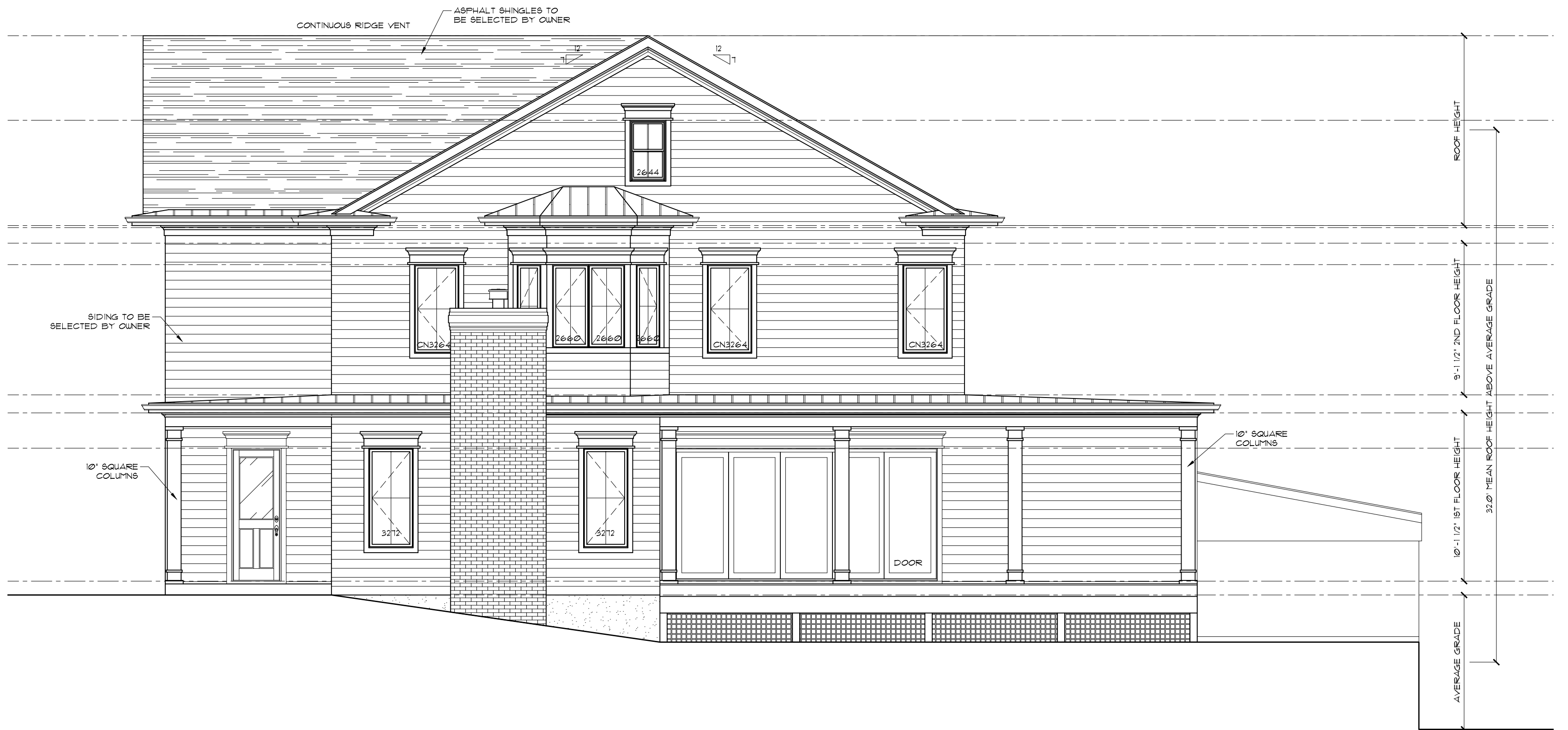
CLIENT	CATSAM- MURRAY RESIDENCE
ADDRESS	1 OBSERVATORY PLACE ATLANTIC HIGHLANDS, NEW JERSEY
JOB NUMBER	23-055
BLOCK	21
LOT	5

DATE	11/29/23
DRAWN BY	MB
SHEET NO.	A-7

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION
SCALE: 3/16" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



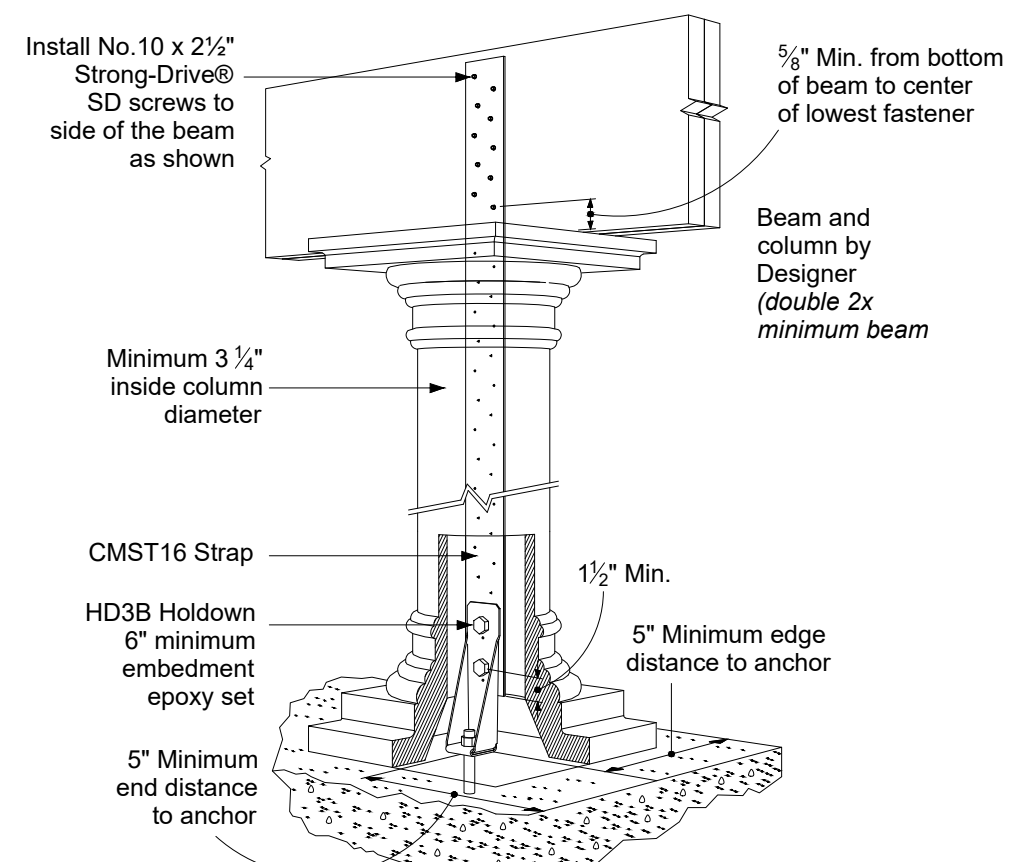
ANTHONY M. CONDOURIS
ARCHITECT
 20 BINGHAM AVENUE, RUMSON NJ 07760
 Telephone ~ 732-842-3800 ~ fax 732-842-7777 ~ www.amcatarchitect.com

REVISIONS	DATE

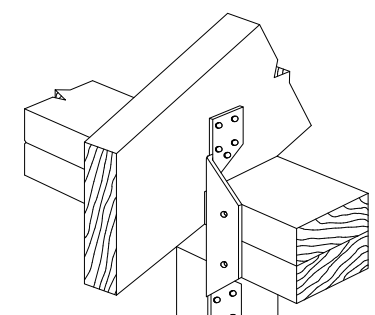
CLIENT: CATSAM- MURRAY RESIDENCE
 ADDRESS: 1 OBSERVATORY PLACE
 ATLANTIC HIGHLANDS, NEW JERSEY
 JOB NUMBER: 23-055 BLOCK: 21 LOT: 5

DRAWN BY: MB
 DATE: 11/29/23
 SHEET NO: **A-8**

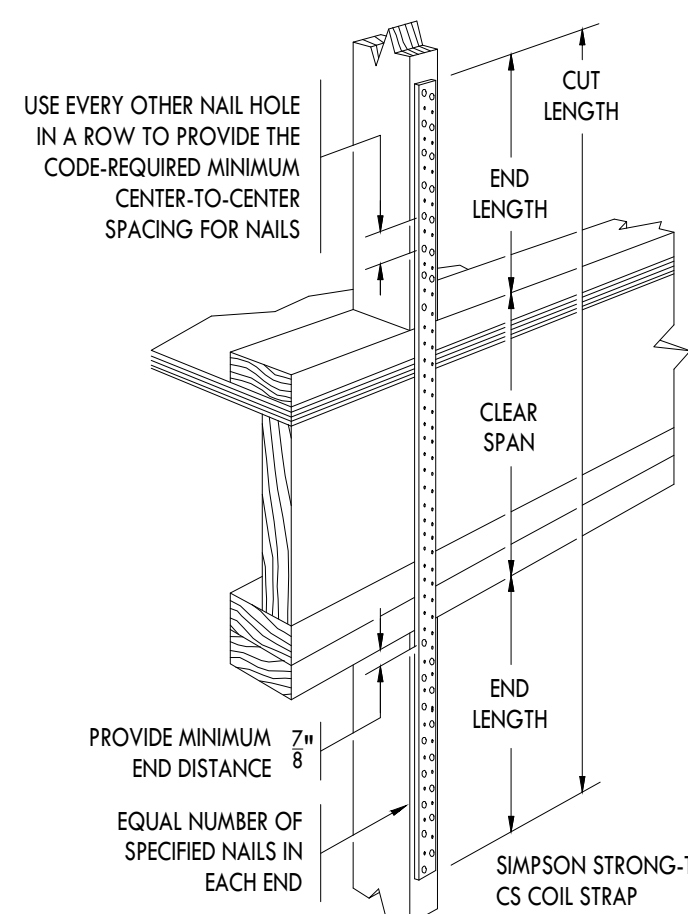
NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



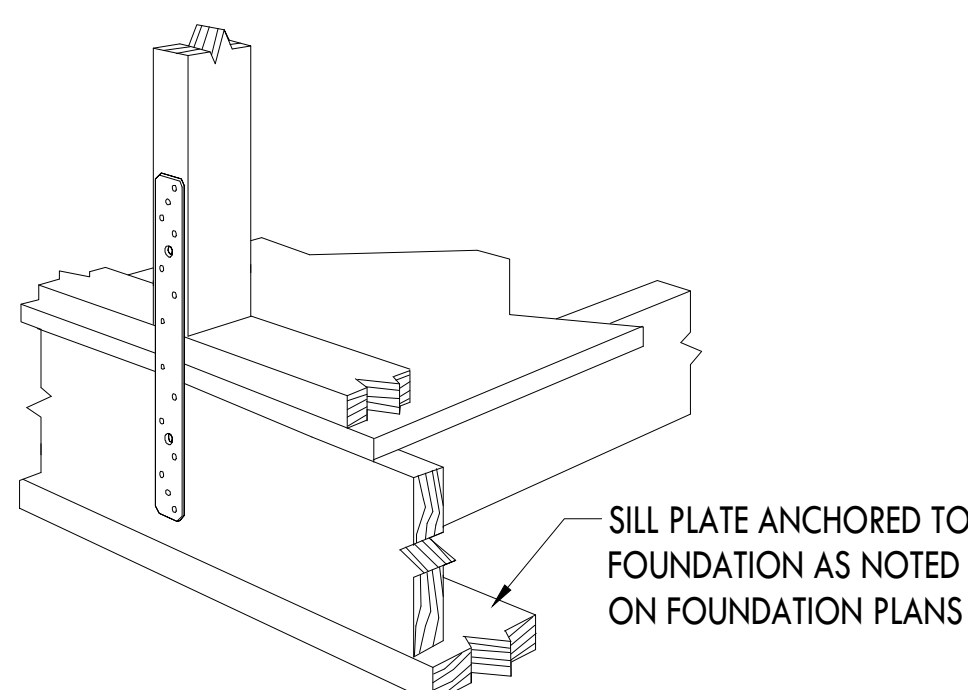
CMST Strap Configuration Installation (ALTERNATIVE TO WOOD POSTS)



H2A
ALLOWABLE UPLIFT = 575
ALLOWABLE LATERAL = 130
AT EVERY RAFTER TO STUD

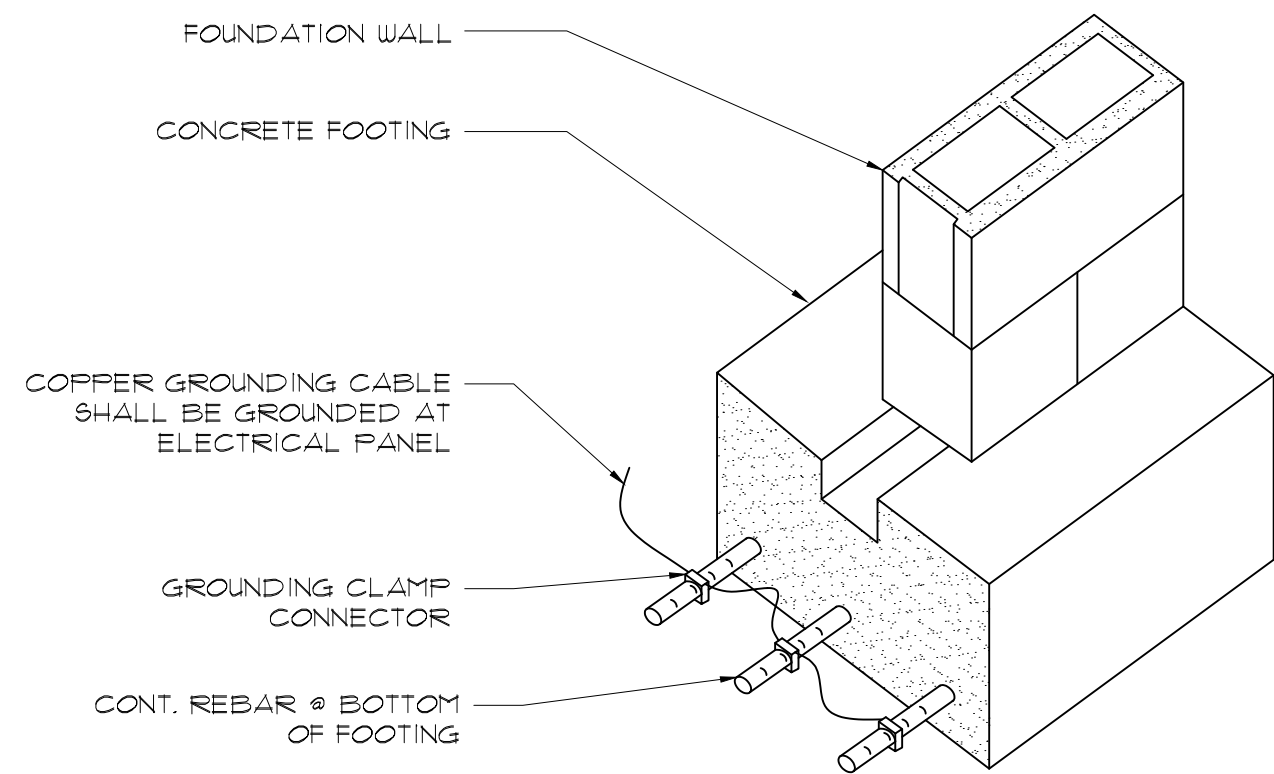


CS14 (16" END LENGTH)
ALLOWABLE TENSION LOAD = 1705
FLOOR TO FLOOR, INSTALL @ 32" O.C.

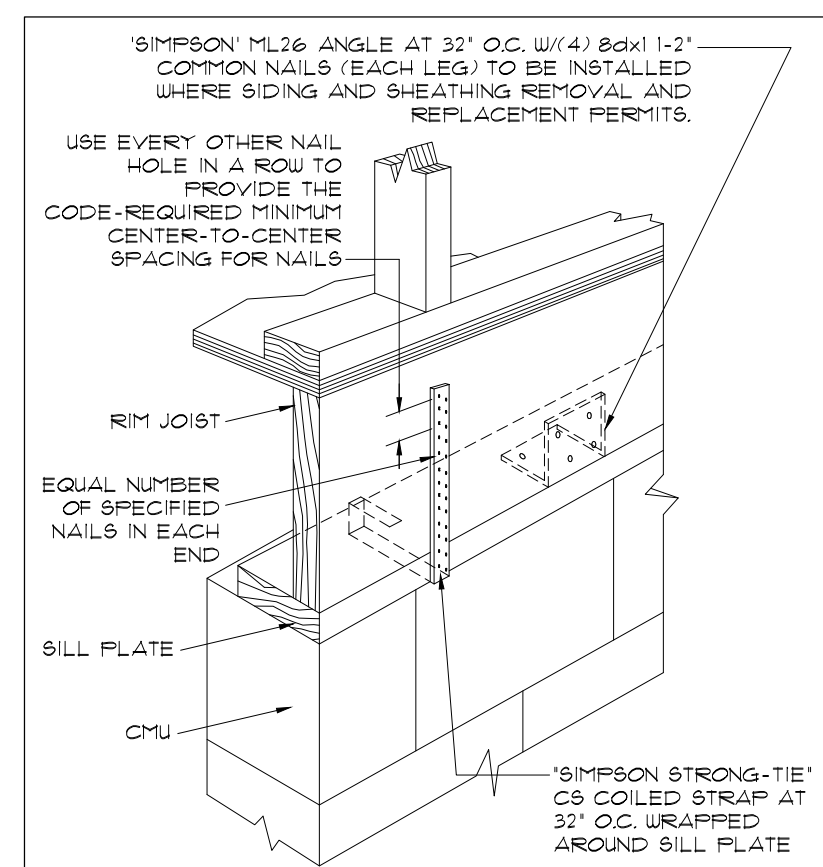


CS14 (CUT TO LENGTH TO PROVIDE 28-8D NAILS)
ALLOWABLE TENSION LOAD = 1705
RIM TO STUD, INSTALL @ 32" O.C.

ALTERNATIVE BRACED WALL METHOD (IN ACCORDANCE W/NJ IRC CH.6)



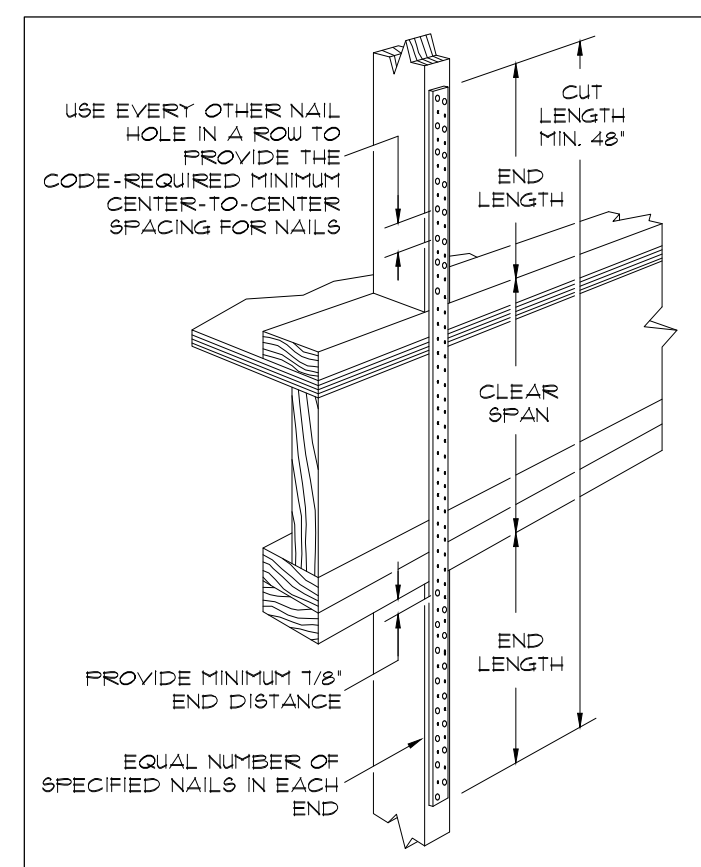
GROUNDING WIRING DETAIL N.T.S.



(STRAPS TO BE INSTALLED 32" O.C. UNDER PLYWOOD WHICH IS NOT SHOWN)

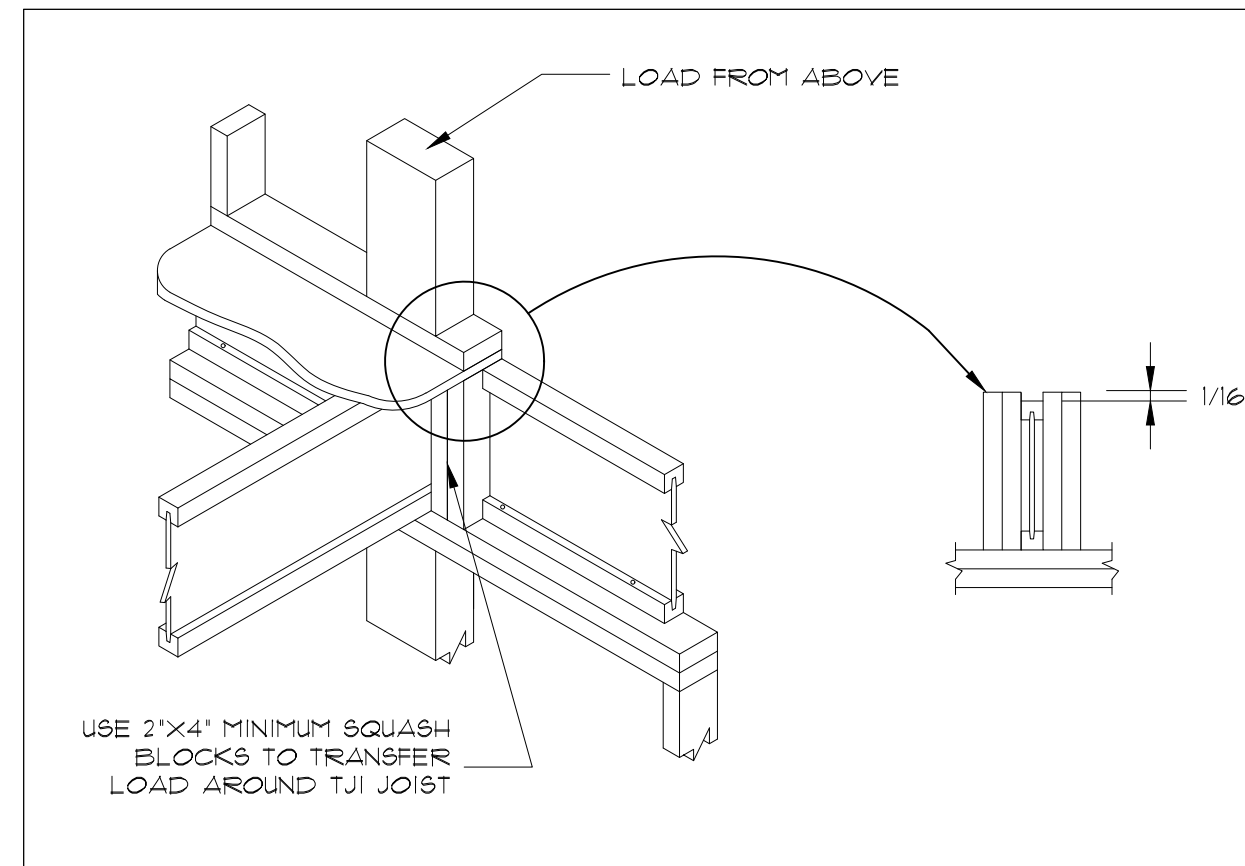
(STRAPS TO BE INSTALLED 32" O.C. OVER PLYWOOD WHICH IS NOT SHOWN)

SIMPSON STRONG-TIE CS COILED STRAP DETAILS
(NOT REQUIRED WITH VERTICAL SHEATHING WHEN INSTALLED AS PER NJ IRC)

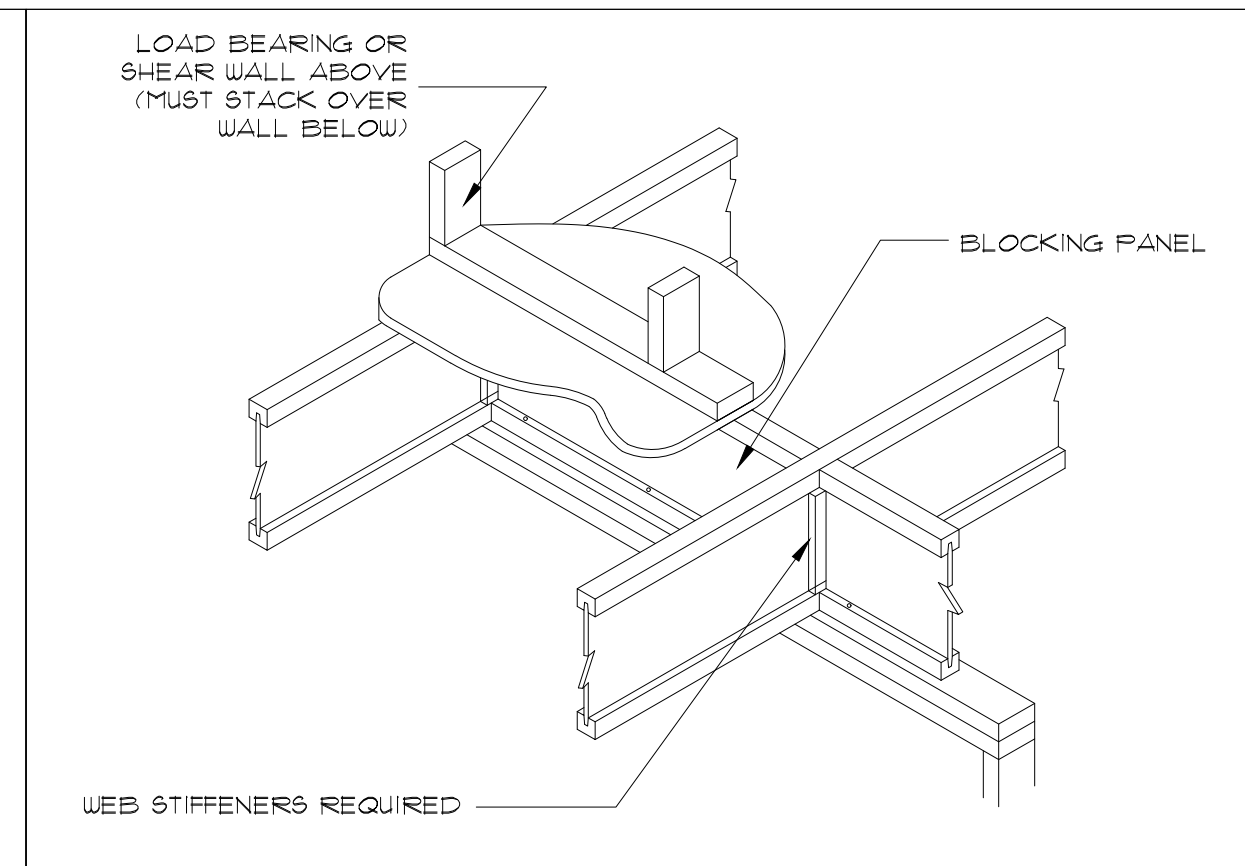


ABBREVIATION LEGEND	
C.J.	CEILING JOISTS
CMU	CONCRETE MASONRY UNIT
F.J.	FLOOR JOISTS
FLR.	FLOOR
FTG.	FOOTING
JSTB.	JOISTS
ML	MILLIMETER
ML	MICROCLAM
M.O.	MASONRY OPENING
O.C.	ON CENTER
OSB	ORIENTED STRAND BOARD
PSL	PARALLEL STRAND LUMBER
RAFT.	RAFTERS
S.B.	SOLID BLOCKING
T&G	TONGUE AND GROOVE
WM	WELDED WIRE MESH
P.T.	PRESSURE TREATED

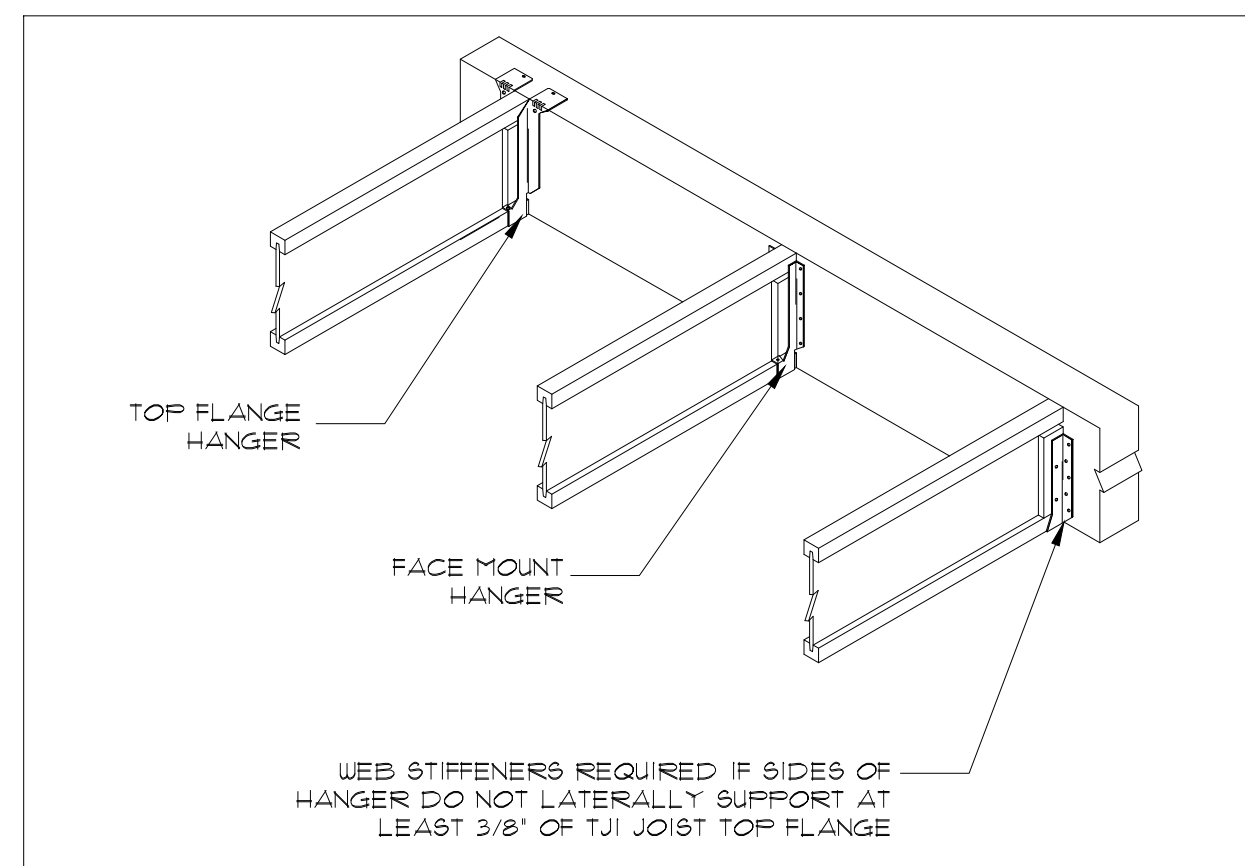
SYMBOL LEGEND	
	BUILDING SECTION
	WALL SECTION
	ELEVATION
	DETAIL



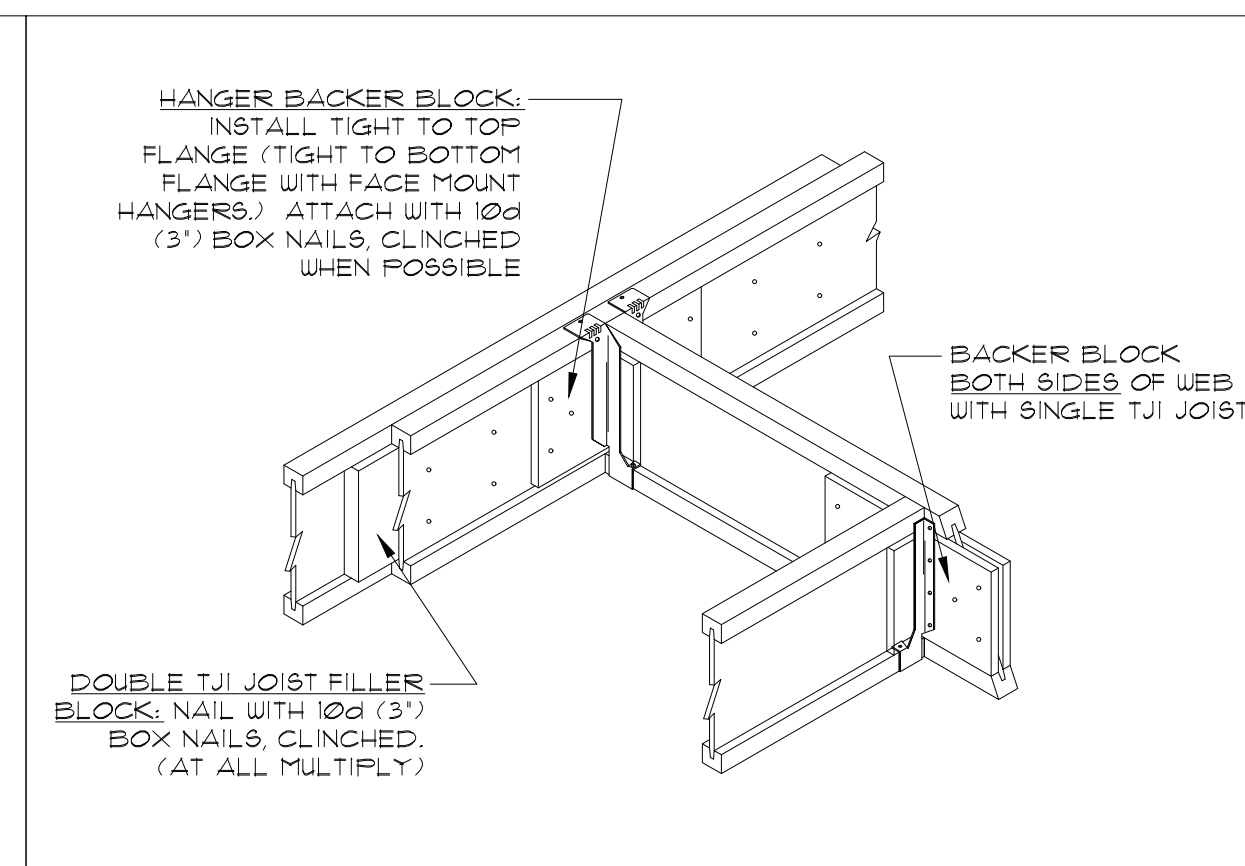
END BEARING WITH SQUASH BLOCKS (CONCENTRATED LOAD FROM ABOVE)



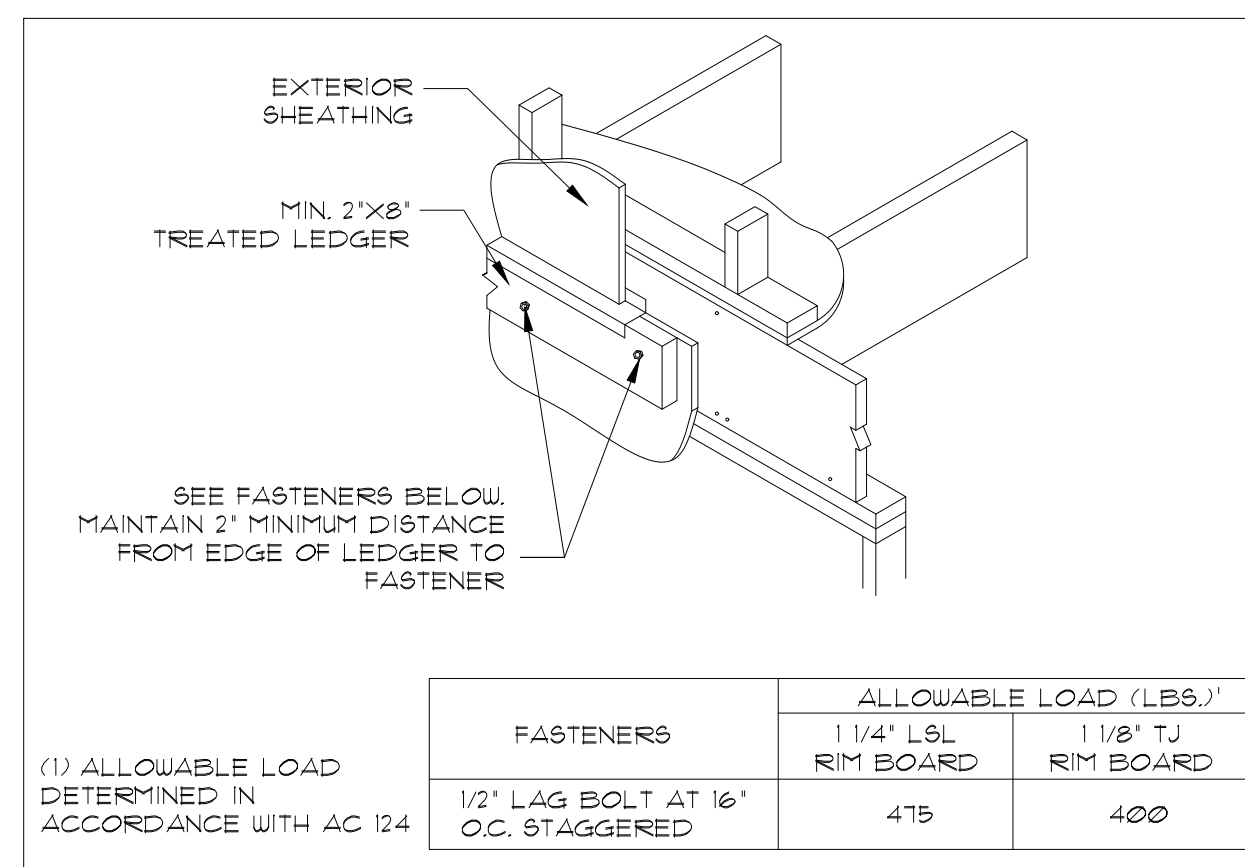
INTERMEDIATE BEARING WITH BLOCKING PANELS & SQUASH BLOCKS



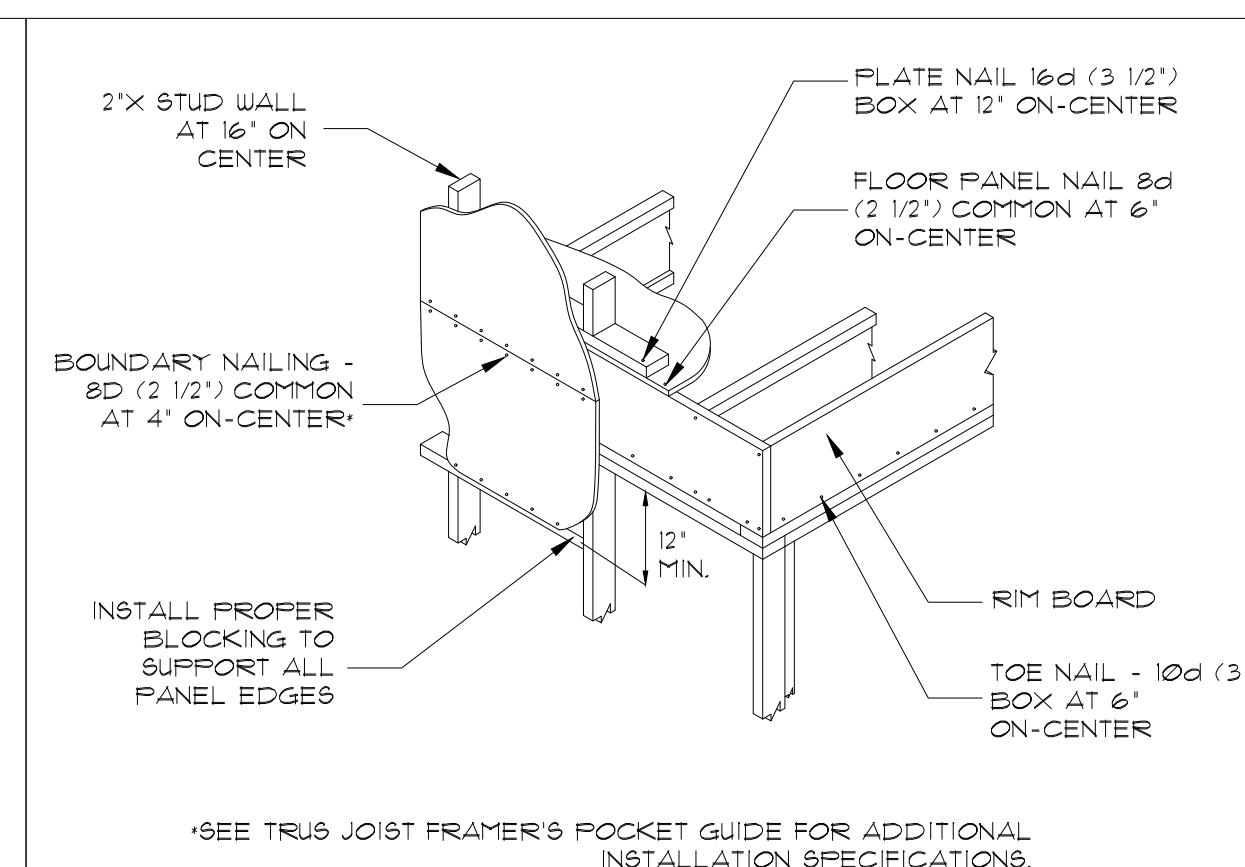
END BEARING IN HANGER SUPPORTED BY A BEAM



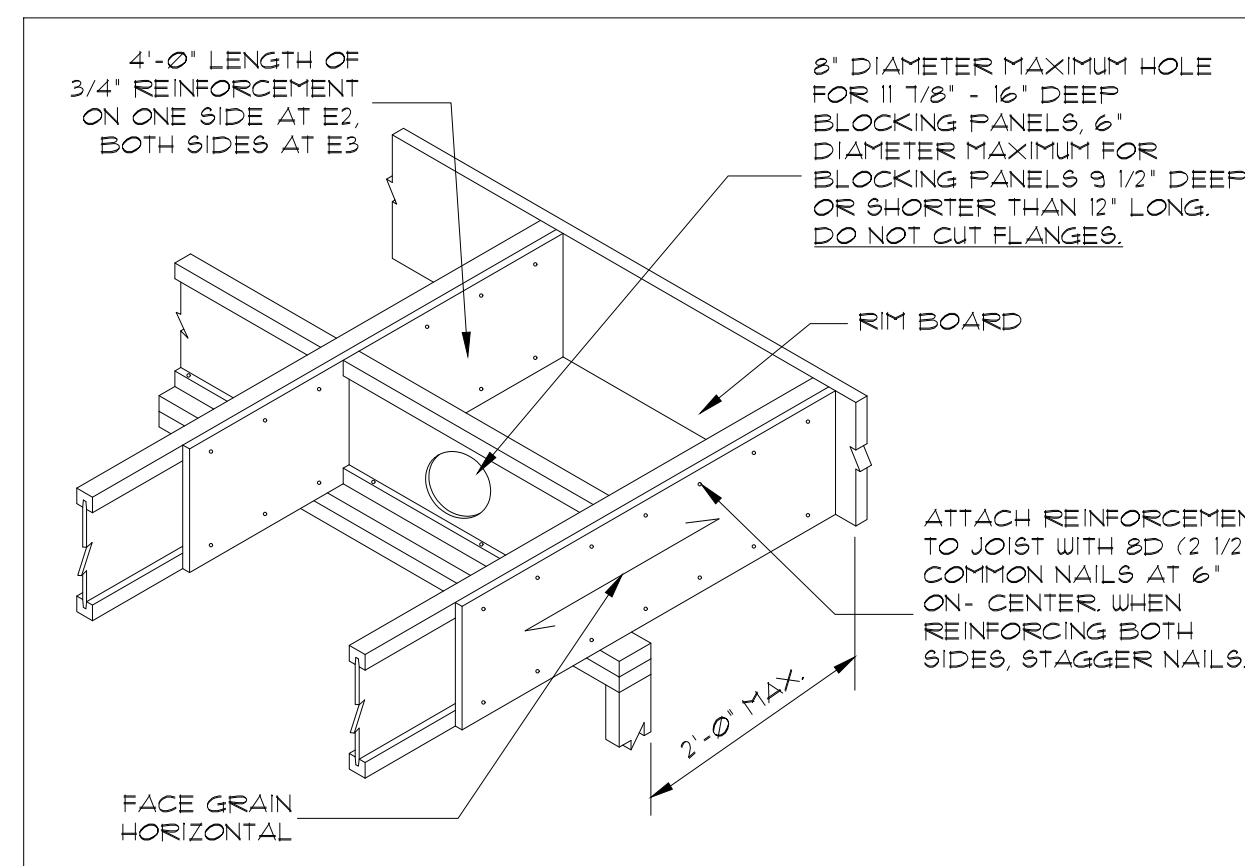
END BEARING IN HANGER SUPPORTED BY TJI JOIST



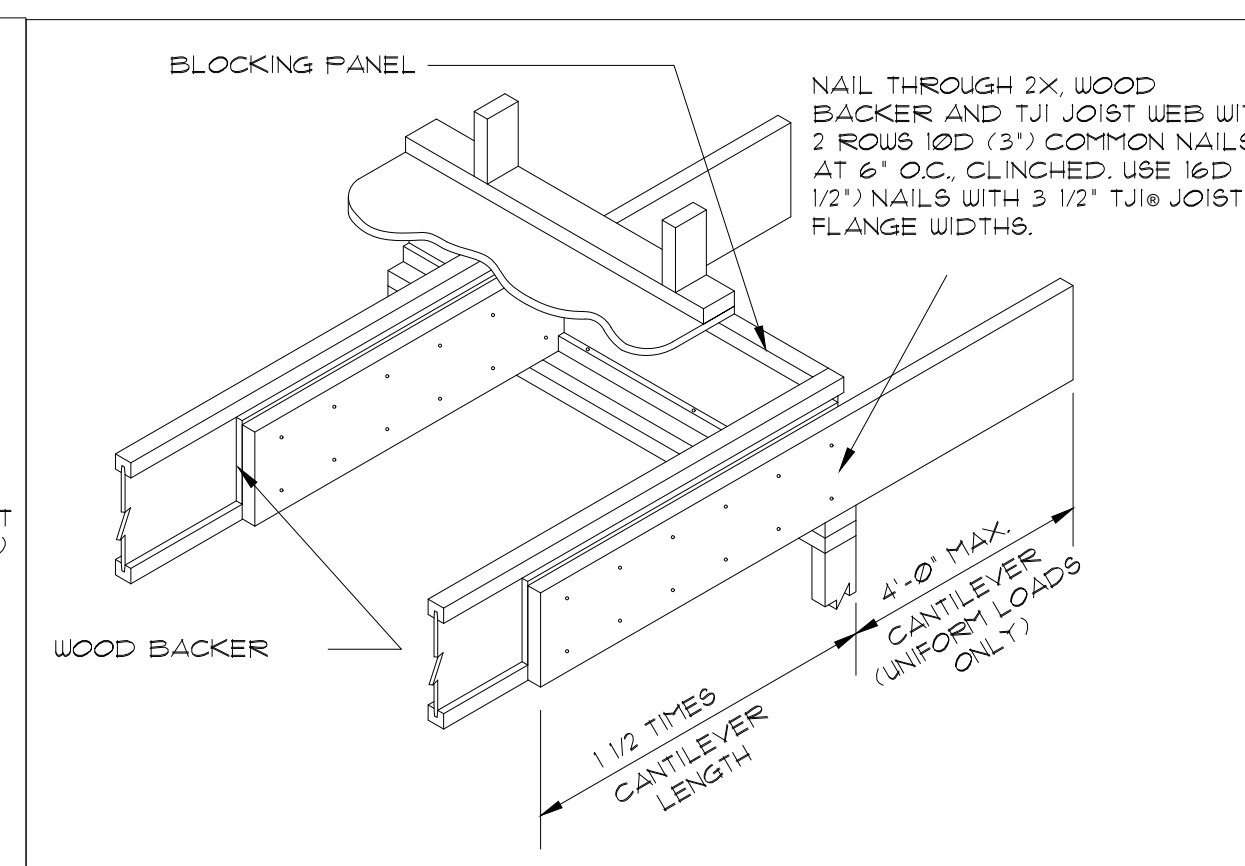
EXTERIOR DECK ATTACHMENT TO RIM BOARD



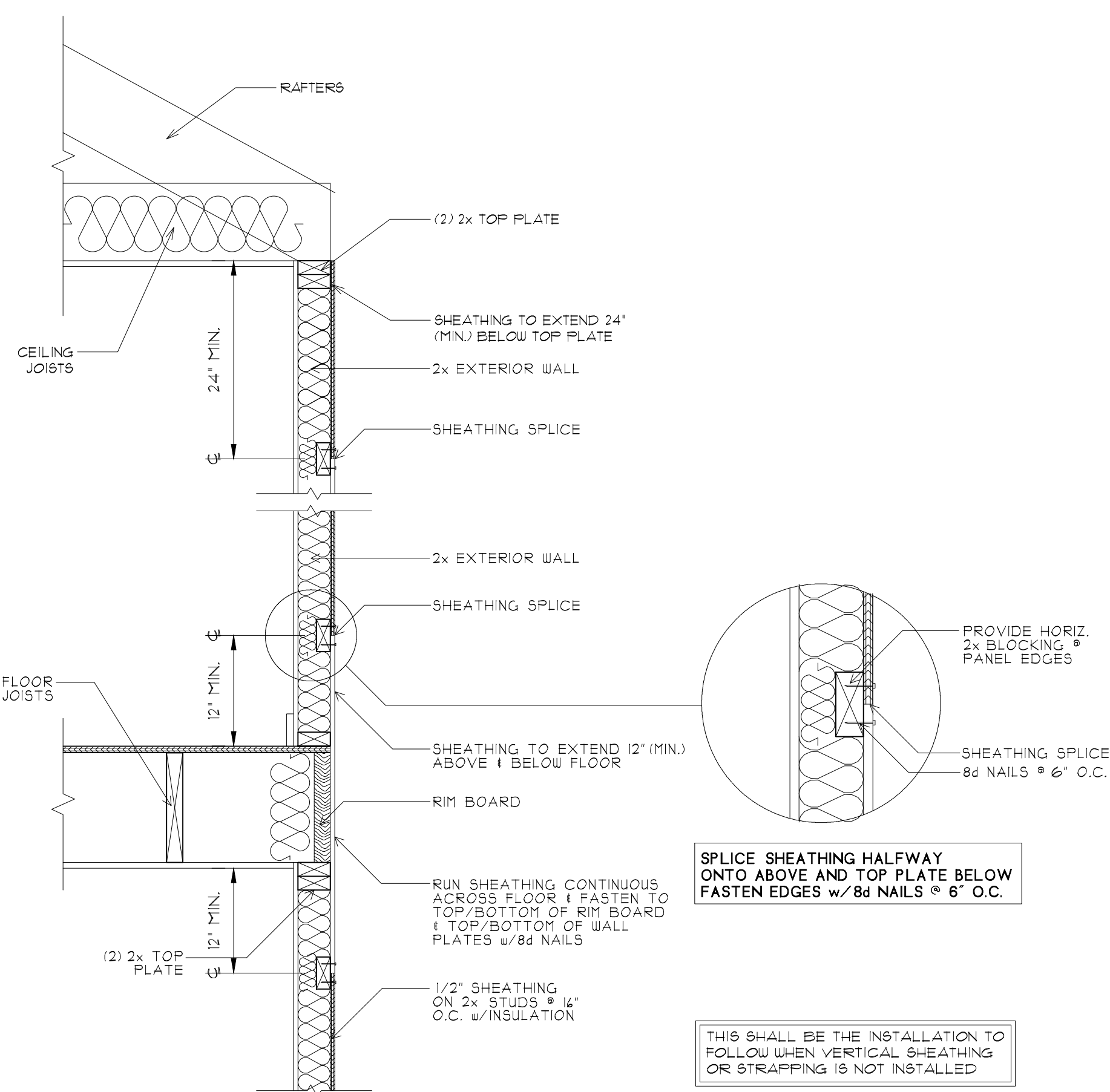
END BEARING WITH RIM BOARD & SHEATHING



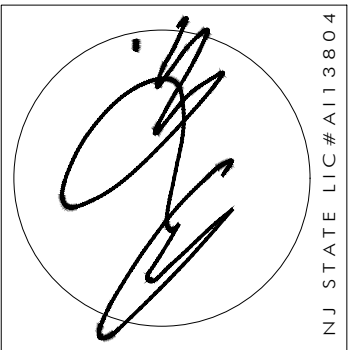
END BEARING WITH SQUASH BLOCKS (CONCENTRATED LOAD FROM ABOVE)



ADDED-ON CANTILEVER WITH 2X7 MATERIAL



TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 1"=1'-0" PARALLEL FRAMING



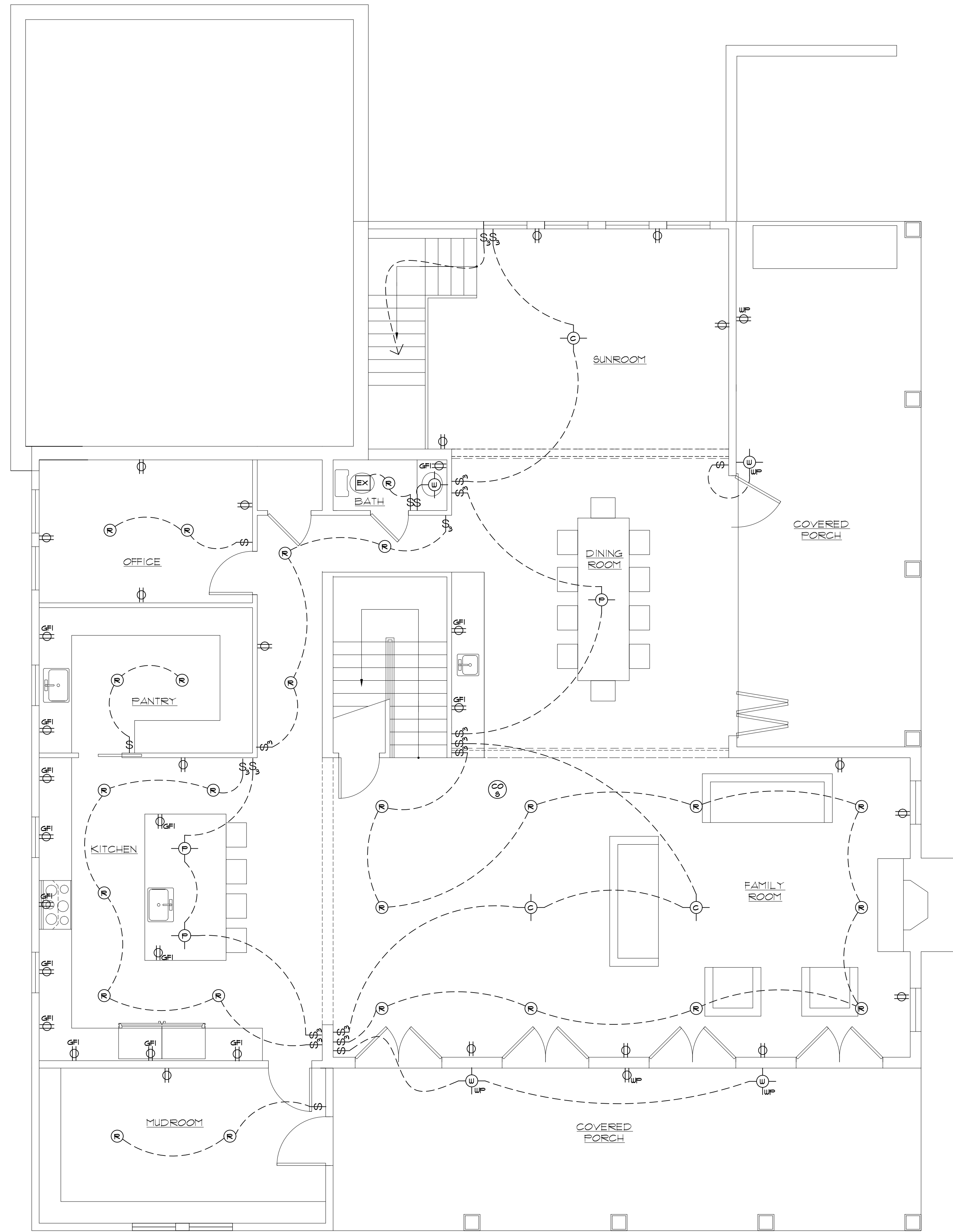
ARCHITECT
20 BINGHAM AVENUE, RUMSON, NJ 07760
Telephone ~ 732-842-3800 ~ fax 732-842-7777 ~ www.amcatrchitect.com

REVISIONS	DATE

CLIENT: CATSAM - MURRAY RESIDENCE
ADDRESS: 1 OBSERVATORY PLACE ATLANTIC HIGHLANDS, NEW JERSEY
JOB NUMBER: 23-055 BLOCK: 21 LOT: 5

DATE: 11/29/23
DRAWN BY: MB
SHEET NO: A-9

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.

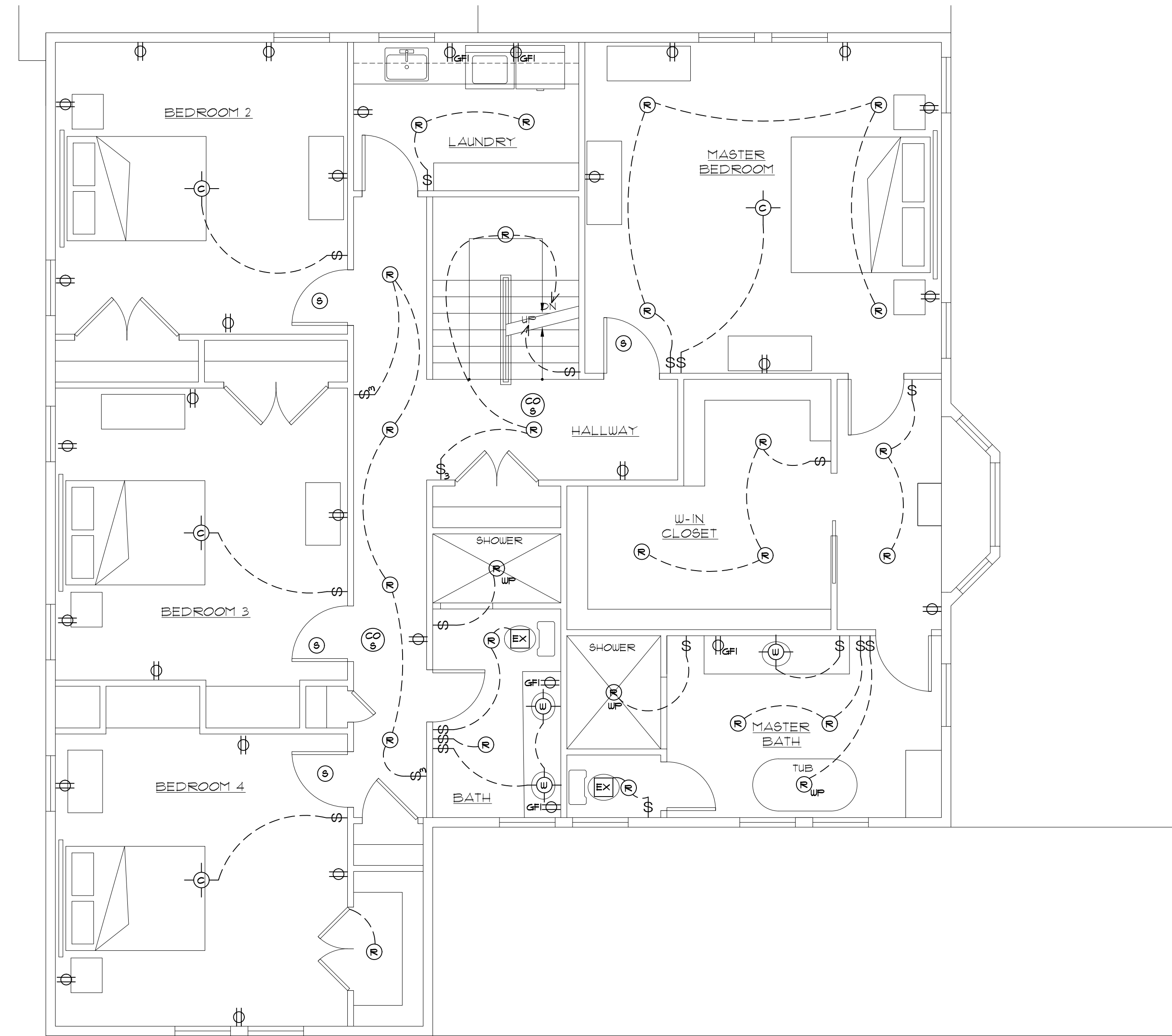


FIRST FLOOR ELECTRIC PLAN
SCALE: 1/4" = 1'-0"

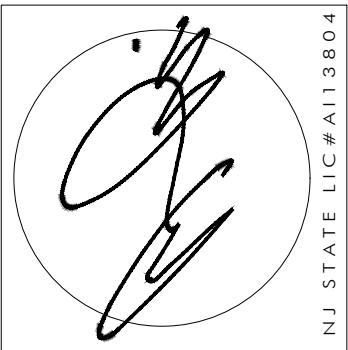
ELECTRICAL SYMBOL LIST			
⊕	SWITCH	⊕ _{WS}	WALL SCONCE
⊕ _D	DIMMER SWITCH	⊕ _R	ADJUSTABLE RECESSED LIGHT FIXTURE
⊕ ₃	THREE-WAY SWITCH	⊕ _S	SPOTLIGHT
⊕ ₄	FOUR-WAY SWITCH	⊕ _{UC}	UNDER CABINET MOUNTED LIGHT FIXTURE
⊕ _{GFI}	DUPLEX RECEPTACLE	EX	EXHAUST FAN
⊕ _{WPGFI}	GFI RECEPTACLE	EX _L	EXHAUST FAN WITH LIGHT
⊕ _{WPGFI}	WEATHERPROOF GFI RECEPTACLE	⊕ _C	CEILING FAN
⊕ _{TS}	TOP-SWITCHED RECEPTACLE	⊕ _{CL}	CEILING FAN WITH LIGHT
⊕ _C	CEILING RECEPTACLE	⊕ _S	SMOKE DETECTOR
⊕ _C	CEILING MOUNTED LIGHT FIXTURE	⊕ _{CO}	CARBON MONOXIDE & SMOKE DETECTOR
⊕ _W	WALL MOUNTED LIGHT FIXTURE		
⊕ _P	PENDANT LIGHT FIXTURE		
⊕ _R	RECESSED LIGHT FIXTURE		

ELECTRICAL GENERAL NOTES:

- EXACT ELECTRICAL LAYOUT AND FIXTURE COUNT SHALL BE VERIFIED DURING WALK-THROUGH WITH HOMEOWNER
- ALL SMOKE DETECTORS SHALL BE AC WIRED INTERCONNECTED WITH BATTERY BACK-UP
- PROVIDE FOR A MINIMUM OF ONE LIGHT FIXTURE IN ATTIC
- UPGRADE EXISTING ELECTRICAL AS REQUIRED
- ALL ELECTRICAL OUTLETS TO BE INSTALLED ABOVE FLOOD ELEVATION
- FIRE RATED FIXTURE ASSEMBLIES ARE REQUIRED WHEN RECESSED LIGHTS ARE USED IN A FIRE RATED ASSEMBLY
- ALL BATHROOM MECHANICAL VENTS, TO EXHAUST TO OUTSIDE.



SECOND FLOOR ELECTRIC PLAN
SCALE: 1/4" = 1'-0"



REVISIONS	DATE

CLIENT	CATSAM- MURRAY RESIDENCE
ADDRESS	1 OBSERVATORY PLACE ATLANTIC HIGHLANDS, NEW JERSEY
JOB NUMBER	23-055
BLOCK	21
LOT	5

DATE	11/29/23
DRAWN BY	MB
SHEET NO.	E-1

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



**BOROUGH OF
ATLANTIC HIGHLANDS**

100 First Avenue
Atlantic Highlands, New Jersey 07716
732-291-1444 Fax 732-291-9725
www.ahnj.com

STEEP SLOPE PERMIT APPLICATION
(Ordinance 03-2011)

In order to protect the health, safety and welfare of people and property within the Borough from improper work or disturbance or any other acts affecting steep slope areas, and more particularly, but not without limitation, to reduce the hazards, which exist in areas by reason of erosion, siltation, ponding, soil slippage, surface water runoff, and destruction of vegetation which stabilizes hillsides, a permit for any engineering review and approval must be filed with the Construction Official for any work disturbance proposed for areas that have a slope of 15% or greater. Work or disturbance is defined as, but not limited to construction, building improvement or development, whether or not a building permit may be required, or, the removal of trees, shrubs, or other vegetation or soil disturbance that may have a detrimental impact on the slope areas.

*****PERMIT MUST BE ACCOMPANIED WITH AN ELEVATION SURVEY*****

BLOCK 27 LOT 5 ZONE R-2

PROPERTY ADDRESS: 1 Observatory Place

OWNER NAME & ADDRESS: Kate Murray; 1 Observatory Place

PHONE# 732-939-3838

CONTRACTOR NAME & ADDRESS: Patrick Murray; 12 Prospect Circle Atlantic Highlands, NJ

PHONE# 732-245-2716

PROPOSED WORK: Add a second level over existing first floor as well as a two story addition increasing total s.f. to 4,253; add covered porch on side.

APPLICANTS SIGNATURE: *Kate Murray* DATE: 12/12/2023

RECEIVED BY: _____ DATE: _____

*****FEES: \$25.00 PERMIT - \$500.00 ENGINEERS FEE - 2 SEPARATE CHECKS REQ.
CHECK #'S _____ PERMIT# _____




**BOROUGH OF
ATLANTIC HIGHLANDS**

100 FIRST AVENUE
ATLANTIC HIGHLANDS, NJ 07716
732-291-1444 FAX 291-9725
WWW.AHNJ.COM CLERK@AHNJ.COM

MICHELLE CLARK, ZONING OFFICER

To: Kate Murray
1 Observatory Place
Atlantic Highlands, NJ 07716

From: Michelle Clark
Zoning Officer 

Date: August 10, 2023

Re: Block 27, Lot 5, 1 Observatory Place

I have reviewed your application for proposed second floor addition in the R-2 Zone for compliance with the Borough of Atlantic Highlands Zoning Code.

The following Planning Board approvals are necessary:

Section 5-2

Minimum Side Yard Set Back 15'/30' required; 10.3'/31.3' exists

Minimum Rear Yard Set Back 30' required; 11.6 exists

Steep Slope approval is needed

To proceed with an application to the Planning Board please contact Nancy Tran at 732-291-1444 ext 3108 or by email at planningboard@ahnj.com

Should you have any questions, please feel free to contact me.

cc: Nancy Tran, Board Secretary



February 7, 2024

Atlantic Highlands Borough Planning Board
100 First Avenue
Atlantic Highlands, NJ 07716

Attn: Nancy Tran - Planning Board Secretary

**Re: Murray Residence (PB24-01)
Bulk Variance Application – Review #1
Location: 1 Observatory Place
Zone: R-2 (Residential District)
Block 27, Lot 5
Borough of Atlantic Highlands, Monmouth County, NJ
Our File: HAHP027.05**

Dear Planning Board Members:

Our office received the following information in support of the above-referenced application for Bulk Variance approval:

- Survey entitled “Steep Slope Review Plan for Kate Murray, Lot 5 Block 27, Borough of Atlantic Highlands, Monmouth County, NJ” consisting of one (1) sheet prepared by Ronald L. Trinidad, PLS, dated September 20, 2023; and
- Architectural plans entitled “Proposed Additions and Renovations for Catsam Murray Residence, 1 Observatory Place, Atlantic Highlands, New Jersey, Block 27 ~ Lot 5” consisting of ten (10) sheets prepared by Anthony M. Condouris, AIA, dated November 29, 2023.
- Steep Slope Permit Application, dated December 12, 2023;
- Application for Variance, dated December 12, 2023;
- Development Plan Checklist, dated December 22, 2023; and,
- Zoning officer denial letter, dated August 10, 2023.

We have reviewed this application for Bulk Variance approval and offer the following comments:

1. Property Description

The subject property is a lot containing 16,033 SF within an R-2 Zone District and Steep Slope Area and provides 78.00 feet of road frontage along the south side of Observatory Place. The property currently contains a one-story dwelling with attached studio, covered front porch, shed, stone driveway, and concrete walkway.

The Applicant proposes to expand the existing one-story dwelling by adding a 1,330 SF second story over the existing first floor and rear patio and a 837 SF two-story addition to the east as well



Nancy Tran, Planning Board Secretary
 Atlantic Highlands Borough Planning Board
 Re: Murray Residence (PB24-01)
 Bulk Variance Application – Review #1

February 7, 2024
 Our File: HAHP0027.05
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as a covered side porch to the west and raised patio to the south. The Applicant is requesting Bulk Variance relating to minimum rear yard setback, minimum side yard setback, maximum lot coverage, and maximum building coverage.

2. Surrounding Uses

Properties surrounding the subject site are similarly zoned R-2 and contains primarily single-family residential uses.

3. Zoning Compliance

The subject property is situated within an R-2 Zone District and the table below summarizes the bulk measures and zone requirements for the property:

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
Min. Lot Area	15,000 sf	16,033 sf	16,033 sf
Min. Lot Frontage / Width	100 ft.	78 ft.	78 ft. (EC)
Min. Front Yard Setback	25 ft.	98.2 ft.	98.0 ft.
Min. Side Yard Setback	15 ft.	10.3 ft.	10.3 ft. (V)
Min. Combined Side Yard Setbacks	30 ft.	30.2 ft.	30.2 ft.
Min. Rear Yard Setback	30 ft.	11.3 ft.	11.3 ft. (V)
Min. Lot Shape Diameter	65 ft.	59.5 ft.	59.5 ft. (EC)
Max. Building Height	35 feet / 2 ½-story	17.5 ft. / 1-story	33.6 ft. / 2.5-story
Max. Lot Coverage (Impervious)	40%	25.9%	31.7%
Max. Lot Coverage (Building)	15%	16.4%	23.9% (V)
Max. Usable Floor Area Ratio	0.35	0.164*	0.320*
Min. Gross Floor Area (>1-Story)	1,200 sf / 1,800 sf (Total)	1,773 sf / 3,475 sf	2,255 sf / 6,233 sf
Min. Side Yard Setback (Acc)	10 feet	2.9 ft.	2.9 ft. (EC)
Min. Rear Yard Setback (Acc)	5 feet	94.4 ft.	94.4 ft.
Max. Acc. Building Height (Acc)	1-Story / 16 feet	(TBP)	(TBP)

(EC): Existing Condition

(V): Variance Required

(TBP): To Be Provided

**Applicant to confirm classification of lowest level as basement, cellar, or story and provide supporting calculations. Table calculations assume lowest level is basement. We note §150-6 states that 50% of the floor area of basements having a ceiling height of seven feet or greater shall be included in UFAR calculations.

The Applicant has provided steep slope calculations in accordance with Ordinance Section 150-78.E. Based upon our review of the calculations provided on the Plot Plan submitted as part of this application, we find that the proposed improvements appear meet the applicable steep slope zoning



Nancy Tran, Planning Board Secretary
 Atlantic Highlands Borough Planning Board
 Re: Murray Residence (PB24-01)
 Bulk Variance Application – Review #1

February 7, 2024
 Our File: HAHP0027.05
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requirements. Further detail is required for proposed lot disturbance. Below is a summary of the approximate allowable steep slope areas:

Table 2: Allowable Steep Slope Areas, §150-78(E)			
Standard	Required	Existing	Proposed
Minimum Lot Size Area (sq. ft.)	15,936	16,033	16,033
Maximum Lot Coverage (sq. ft.)	6,394	3,837	5,214
Maximum Impervious Area (sq. ft.)	5,592	3,837	5,214
Maximum Lot Disturbance (sq. ft.)	7,270	N/A	(TBP)

(EC): Existing Condition (V): Variance Required (TBP): To Be Provided

4. It appears that the Applicant will require relief from the following variances and/or design waivers with respect to this development application:
 - a) **Section 150-29(A)(2)(Exhibit 5-2)** – The minimum required side yard setback is 15 feet, whereas a 10.3 feet exists with additional volume proposed within the setback.
 - b) **Section 150-29(A)(2)(Exhibit 5-2)** – The minimum required rear yard setback is 30 feet, whereas a 11.3 feet exists with additional volume proposed within the setback.
 - c) **Section 150-29(A)(2)(Exhibit 5-2)** – The maximum lot coverage is 15 percent, whereas a 16.4 percent exists and 23.9 percent is proposed.

5. It appears that the following existing non-conformities would remain with respect to this Application.
 - a) **Section 150-29(A)(2)(Exhibit 5-2)** – The minimum required frontage is 100 feet, whereas 78.0 feet exists and is proposed to remain.
 - b) **Section 150-29(A)(2)(Exhibit 5-2)** – The minimum required lot shape diameter is 65 feet, whereas 59.5 feet exists and is proposed to remain.
 - c) **Section 150-29(A)(2)(Exhibit 5-2)** – The minimum required side yard setback for accessory buildings is 5 feet, whereas 2.9 feet exists and is proposed to remain.
 - d) **Section 150-54(A)(2)** – Detached accessory buildings shall not be located in a front yard, whereas the shed exists forward of the principal structure and is proposed to remain.

6. The Applicant has requested several submission waivers and no additional waivers appear to be necessary.



Nancy Tran, Planning Board Secretary
Atlantic Highlands Borough Planning Board
Re: Murray Residence (PB24-01)
Bulk Variance Application – Review #1

February 7, 2024
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Due to the nature of this development application, our office would have no objection to the application being deemed **CONDITIONALLY COMPLETE**, conditioned upon the review from the Completeness Committee and approval by same, the application should be scheduled for a public hearing.

7. Based upon our review of the subject application, we estimate that the following fees are required:

<u>Ordinance Section</u>	<u>Description</u>	<u>Application Fee</u>	<u>Escrow Fee</u>
168-2H(4)	Hardship Variance (40:55D-70c)	\$150.00	\$350.00 (min)

We recommend the Borough collect \$150.00 in nonrefundable application fees and \$350.00 in professional services escrow fees from the Applicant prior to deeming the application complete.

8. The Applicant should be prepared to discuss the following issues with the Board:

- a) Reasons supporting the granting of the requested bulk variances and/or design waivers and continuance of the existing condition nonconformities.
- b) Applicant should provide testimony on the classification of lowest level as basement, cellar, or story and provide supporting calculations. Our calculations assume lowest level is basement. We note §150-6 states that 50% of the floor area of basements having a ceiling height of seven feet or greater shall be included in UFAR calculations.
- c) Applicant to confirm height of existing shed.
- d) Applicant should provide testimony on proposed demolition activities and identify which existing features are to be removed.
- e) The Applicant should clarify the number of bedrooms in the existing and proposed conditions. It appears four (4) bedrooms are proposed.
- f) Applicant should demonstrate conformance with parking requirements. We note four-bedroom residential homes require 2.5 off-street parking spaces.
- g) The Applicant should discuss stormwater discharge resulting from the proposed improvements, noting that the property is located in the Borough's defined steep slope area. Should any portion of the post developed lot impact drainage conditions on the subject property or adjacent properties, the Applicant will be required to correct any deficiencies as directed by the Borough Engineer.
- h) Applicant should demonstrate compliance with the steep slope requirements of Ordinance Section 150-78.D.
- i) Any landscaping work including buffers, proposed plantings, and tree removal, including effects on adjacent properties.



Nancy Tran, Planning Board Secretary
Atlantic Highlands Borough Planning Board
Re: Murray Residence (PB24-01)
Bulk Variance Application – Review #1

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- j) Applicant should discuss construction access.
- k) Applicant should provide site photos depicting existing conditions.
- l) The Applicant shall be responsible for complying with all applicable requirements outlined in §163 (Excavation) of the Borough of Atlantic Highlands municipal code. Applicant should provide testimony confirming same.
- m) The Applicant should discuss compliance with all applicable requirements outlined in §150-89 (Improvement Standards) of the Borough of Atlantic Highlands municipal code.

The right is reserved to present additional comments pending the receipt of revised Plans and/or testimony of the Applicant before the Board.

If you have any questions with regard to the above matter, please do not hesitate to call.

Very truly yours,

CME Associates



Douglas M. Rohmeyer, PE, CME, CFM
Planning Board Engineer

DMR/DEP/ATH

cc: Robert Ferragina – Borough Administrator
Michael B. Steib, Esq. – Board Attorney
Michelle Clark – Zoning Officer
Kate Murray – Applicant
Anthony M. Condouris, AIA – Applicant's Architect